

The Struthers-Wetmore-Schimmelfeng House Building Assessment and Preservation Plan

Warren County Historical Society



KidderWachter
Architecture & Design

June 2010

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1. ACKNOWLEDGMENTS

This *Building Assessment and Preservation Plan* has been prepared through the support, cooperation and contribution of the following organizations and individuals:

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Funding for this report was provided by a grant from the Pennsylvania Historical and Museum Commission.

2. EXECUTIVE SUMMARY

The Struthers-Wetmore-Schimmelfeng House is located in Warren, PA. The Second Empire style residence was constructed 1870-1873 and has been the headquarters of the Warren County Historical Society since 1964. The three story brick structure is located immediately west of the Warren County Courthouse on a .2 acre lawn. The property was listed on the National Register of Historic Places in 1975.

The Struthers-Wetmore-Schimmelfeng House contains period rooms, rotating exhibit space, Historical Society offices, research rooms and collection storage. The property is owned by the Warren County Commissioners who purchased the property in 1950 as an annex to the courthouse. The Historical Society maintains day to day operations of the site and pays all utilities. As a currently occupied mixed use building and publicly accessible site, the facility is in good structural and useable condition. Most issues lie in deferred maintenance and non-historical based modifications.

The preparation of this assessment report is the first step in developing a disciplined approach to the care of a historic building. Kidder Wachter Architecture & Design has inspected and documented the building. Working with Michelle Gray, Chase Putnam, and David Olney of the Historical Society, a comprehensive understanding of the Struthers-Wetmore-Schimmelfeng House has been obtained. There has been a review of the limited archival information about the house and the building's fabric has been thoroughly examination. All components of the building have been examined and for each element, its date of origin, existing condition and scope of needed repairs have been identified. A permanent graphic and written record of these findings has been prepared. Assembling the detail of the building's history and current conditions creates a benchmark that will not only provide a guide for immediate work but also will provide future generations with a clear picture of what was found in our time.

This report describes the home's history and a detailed physical description of the building's site, exterior, and interior. Using these facts, recommendations have been made to direct future preservation of the building. Based on the existing conditions and the history of this property, it is recommended that the exterior be restored to its original Second Empire appearance. This Period of Significance for the exterior represents the time when it was occupied by Anna and George Wetmore, the original owners. The Historical Society has been doing an excellent job interpreting the interior and reversing non-historic modifications. The recommendation is to continue with these efforts on the interior. Lastly, as with most buildings, there will be a time when the HVAC, electrical and plumbing systems will need to be updated to ensure continued efficient and safe use of the building.

The intent of this report was to focus on the physical aspects of the historic structure and to maintain current uses and organizational structure of the Warren County Historical Society.

3. PROPERTY DATA

Building Name: Struthers-Wetmore-Schimmelfeng House
Location: 210 Fourth Avenue
Warren, PA 16365
Municipality: City of Warren
County: Warren
State: Pennsylvania
UTM: Zone 17 4634360 653790

Constructed: 1870 - 1873
Style: Second Empire (1855-1885)
Historic Function: Single Family Residence
Current Function: Historic Home, Exhibits, Offices of Warren County Historical Society

Original Owner: Anna Eliza (Struthers) and George R. Wetmore (1873-1893)
Second Owner: Charles Schimmelfeng (1893-1950)
Third Owner: County of Warren (1950-present)
204 Fourth Avenue
Warren, PA 16365

Occupant: Warren County Historical Society (1964-present)

Site Size: 76'-4" +/- x 110'-6" +/- = 0.2 acres +/-

Building Size:

Number of Stories:	Three with full basement
Basement:	2,705 Gross Square Feet
First Floor:	2,665 Gross Square Feet
Second Floor:	2,665 Gross Square Feet
Third Floor:	<u>2,665 Gross Square Feet</u>
Total:	10,700 Gross Square Feet
Porch 1 (Front - south):	98 Square Feet
Porch 2 (Side – east):	87 Square Feet

Cultural Resource: Listed on National Register of Historic Places – April 28, 1975, #001195
Located within National Register Listed Warren Historical District

4. HISTORY

Located in the City of Warren, PA, the Second Empire style Struthers-Wetmore-Schimmelfeng House was constructed between 1870 and 1873. Thomas Struthers built the home as a wedding gift to his only daughter, Anna Eliza, upon her marriage to George R. Wetmore. Mr. Struthers was a prominent Warren industrialist during the 19th century who was involved in the city's growth and development. He was a state legislator and was responsible for the creation of the Struthers Library Theater Building in 1883 located at 302 Third Avenue.

Anna Wetmore died unexpectedly in 1880. George Wetmore remained in the house until he passed away in 1890. Mrs. Emily Bree occupied the home as a renter until it was purchased by Charles Schimmelfeng in 1893. During the Schimmelfeng ownership several of the first floor rooms were redecorated to be in the style of current tastes. The only exterior change that appears to have been made during this period was the construction of a porch to the right of the main entrance as shown in the undated photograph below.



Undated photo showing Colonial Revival porch

The Schimmelfeng family owned the house until 1950 when Miss Frances Schimmelfeng sold it to Warren County. The County Commissioners converted the home into an annex for the 1876 Warren County Courthouse, located immediately east of the house. Commercial flooring and lighting was installed to accommodate the new office uses and the front side porch was removed. Some woodwork was painted and minor floor plan changes were made.

In 1964 the Warren County Historical Society took over stewardship of the home and occupies it to this day as their headquarters. Warren County Commissioners remain owner of the property. Most of the county office modifications have been reversed and the 39 rooms in the house (basement to third floor) contain period rooms, rotating gallery space, research rooms, offices and collections storage.

In 1975 the “Wetmore House” was individually listed on the National Register of Historic Places. It is also located within the National Listed Warren Historic District.

5. GENERAL BUILDING DESCRIPTION

The Struthers-Wetmore-Schimmelfeng House is a Second Empire style, asymmetrical, single family urban residence completed in 1873. The building is constructed of cut stone foundation, brick exterior walls and wood frame floor and roof systems. The building has three floors above grade and a full basement containing a total of 39 rooms within 10,700 gross square feet. There are two concave mansard roofs with patterned slate, molded wood cornices with brackets, ornate dormers and shallow hipped roofs above the mansard roofs. A variety of wood window shapes and sizes adorn the home, some with ornate cast iron hoods and sills. There are three entrance doors, two wood frame porches and a wood handicap ramp.

As a currently occupied building and working site, the facility is in good structural and useable condition. Most issues lie in deferred maintenance and non-historical based modifications.

Site Features are described in detail in Section 6

Exterior Features are described in detail in Section 7

Interior Features are described in detail in Sections 8-12



Overall View of Looking Northeast

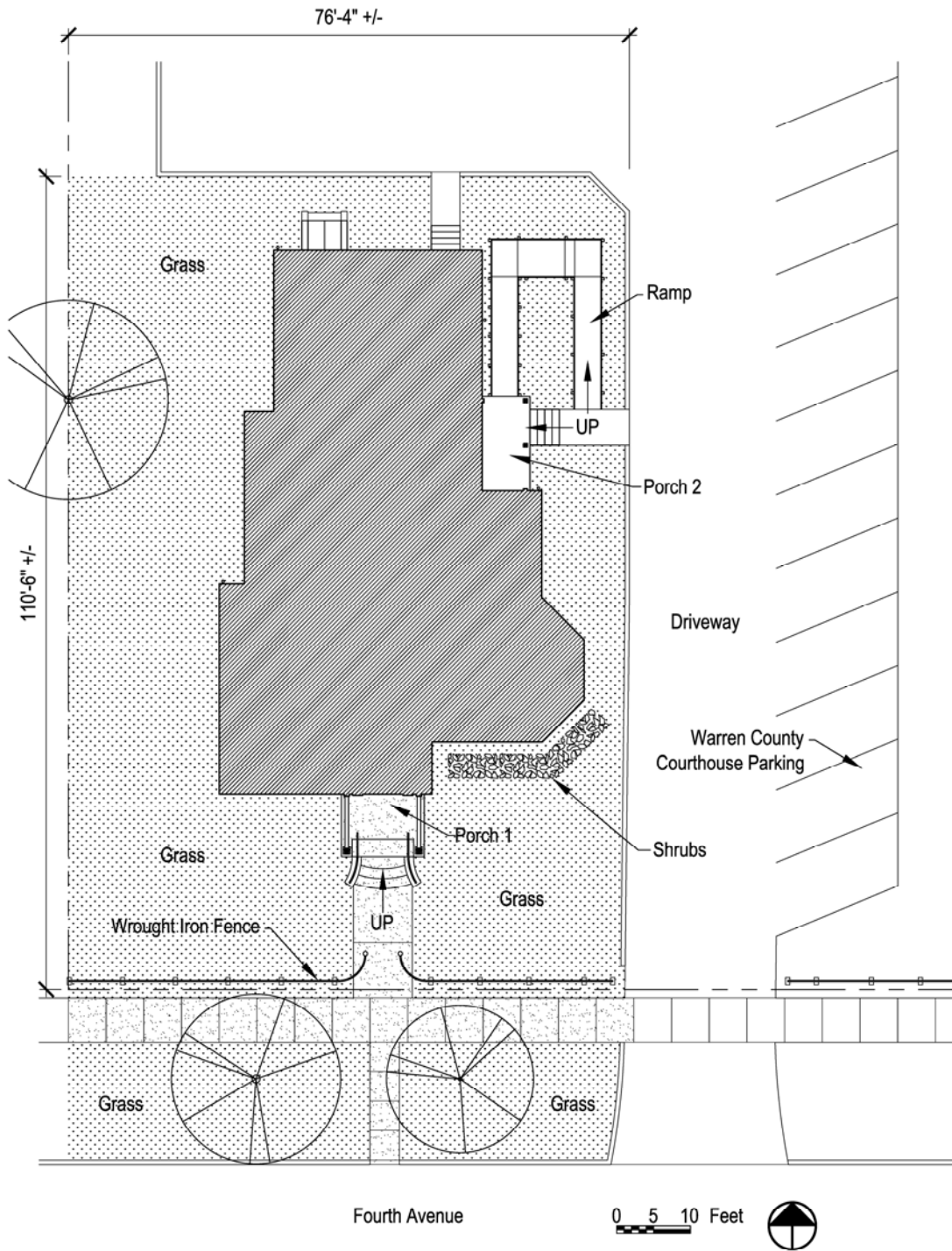


Overall View Looking Northwest



Overall View Looking Southwest

6. SITE DESCRIPTION



Site Plan

General Site Description: As a property survey was not available for this report, the site as described below will be bound by Fourth Avenue to the south, the abutting property to the west, the parking lot curb to the north and the driveway curb to the east. This rectangular area is approximately 76' wide (east to west) and 110' deep (north to south). The site elements include walks, fencing, trees, shrubs and lawn.



Public Street Walkway looking East



Concrete Walkway from Building Entrance to Street



Asphalt Walkway to Side Entrance

Walkways: The public sidewalk in front of the house and the walk leading to the front door are of concrete. The walks to the east and north entrances are asphalt. The concrete walks are in good condition and the asphalt walks are fair. Neither material is historically correct.



Fence along Front Property Line



Detail of Fence at Entrance Walkway

Fence: The cast iron and steel fence along the front of the property is in overall good condition and appears to be original to the property. It matches the fence that surrounds the Courthouse property to the east. There are several extra loose sections leaning against the west wall of the house. The main entrance gate is missing and the way the fence and front walk meet is awkward in that the walk is too wide for the gateway.



Extra Fence Sections along West Wall of House



View of Landscaping



Street Trees along Fourth Avenue



Trees along West Property Line

Landscape: Consisting primarily of grass, the landscaping is minimal but in good condition. Two street trees are located in the planting strip between Fourth Avenue and the public sidewalk. There is a tree along the west property line. Foundation plantings are located between the main southern entrance and the eastern side entrance.

The simplicity of the existing landscape presents a clean slate to create a historic recreation of a 19th Century urban site as an extension of the building's architecture. The current landscape is easy to maintain. A more elaborate landscape would require more maintenance but could create additional programming opportunities.

7. EXTERIOR DESCRIPTION



South Elevation



Detail of South Elevation



East Elevation



North Elevation



Partial West Elevation



Partial West Elevation



Partial West Elevation

Mansard Roofs: The defining characteristic of Second Empire architecture is the mansard roof. This style was considered very modern in its time as it was based on contemporary French architectural ideas. The boxy roof turned former unusable or limited-use attics into an almost entirely usable floor. The Struthers-Wetmore-Schimmelfeng House has two mansard roofs – front (higher) and rear (lower). The concave shaped roofs are identical in detail with patterned multi-colored slate and wood hip ridges. Each have wood cornices, built-in gutters and dormers.

The front slate is original to the house and the rear slate was completely replaced in 1979. The front slate is in fair to good condition excluding the area around the west chimney (#1). The slate to each side of the west chimney is severely damaged and must be repaired immediately as water is entering the building. The rear slate is in excellent condition. All slate should be inspected annually and damaged or missing slate should be selectively replaced with new slate matching the shape, size and color of original material. The front slate may want to be replaced completely if funds become available. The wood hip ridges should be painted.



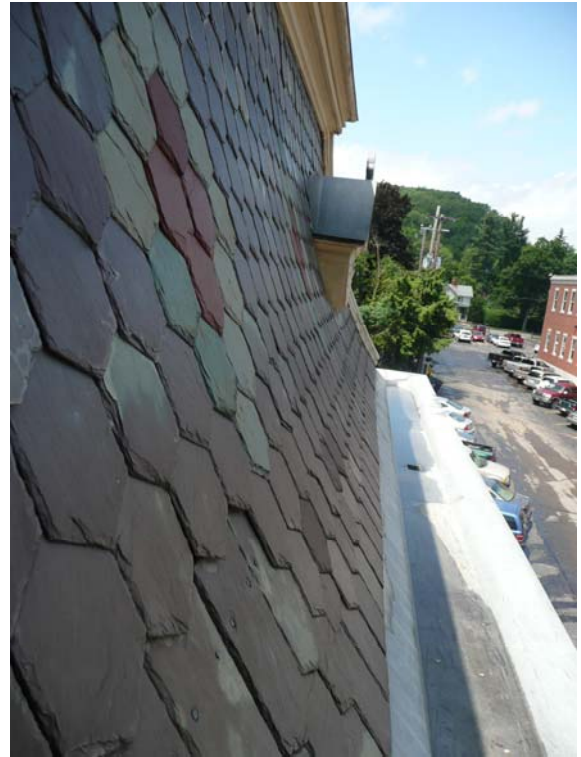
*View of North Side (East) of Front Mansard Roof
(Note standing water in gutter and
incorrect repair of missing slate)*



*View of North Side (West) of Front Mansard Roof
(Note heat tape in gutter)*



Multi-color Slate Detail at Front Roof



*Detail of Slate at Rear Roof
(Note several missing slate at bottom of photo)*



Damaged Slate North of West Chimney



Damaged Slate South of West Chimney

Flat Roofs: Above the mansard roofs are two very shallow pitched “flat” roofs with built-in perimeter gutters. In 1979 these roofs were completely stripped to wood deck, damaged wood replaced and recovered with flat lock, fully soldered, stainless steel roof system. Panels are 16” x 22” in size. This was a major project and of the highest quality. It was a complete surprise to find this 31 year old roof covered with EPDM membrane roofing. The reason for and date of this installation is unknown at this time. The stainless roof has a 50-75 year life span and a properly installed EPDM roof is around a 20 year life. This particular EPDM installation is fully adhered over the stainless steel. There is no mechanical fastening around the perimeter. The entire perimeter of the rubber roof has detached from the metal allowing water to lie between the two roofs. Luckily the stainless roof is doing its job and no water is entering the building, except maybe behind the west chimney.

Since the stainless roof is in good condition, the EPDM could be removed. The drawback would be the now exposed stainless would be covered with adhesive. Another option would be to cut back the EPDM around the perimeter, install new EPDM about 18” in from the edge of the roof and mechanically fasten the entire perimeter to the roof deck.

These roofs should be inspected annually. There may be a need to install another downspout at the southwest corner and change the pitch of the built-in gutter along the front west side of the roof as there was standing water behind the west chimney.



View Looking North from Southwest Corner of Front Roof



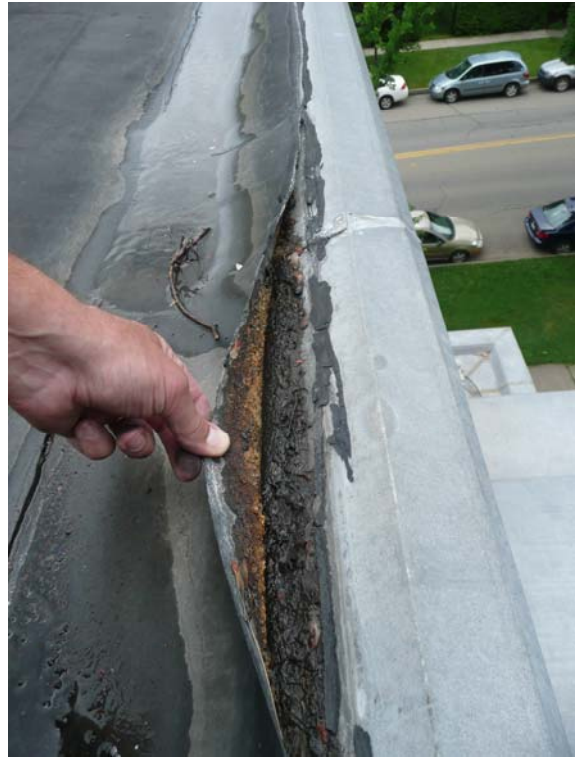
View Looking East from Southwest Corner of Front Roof



View Looking North at Rear Roof from Front Roof



*Failed EPDM Roofing at Southwest
Corner of Front Roof*



Failed EPDM Roofing at West Edge of Front Roof



Failed EPDM Roofing at Downspout (Typical)



Failed EPDM Roofing at North Edge of Front Roof



View of North Side (east) of Front Roof Showing Original Slate and Downspout from Flat Roof



Roof Access Hatch at Front Roof

Chimneys: There are four chimneys on the house. All are of brick with similar corbelled detailing, stainless steel caps and flashing. Chimney #1 (front roof west) is in poor condition. Many bricks are damaged and need to be replaced. Mortar joints should be 100% cut out and repointed with lime based mortar.



Chimney #1 – West Face



Chimney #1 – East and North Face



Chimney #1 – Detail of North Face



Chimney #1 – Detail of West Face

Chimney #2 (west half of front roof), chimney #3 (east half of front roof) and chimney #4 (north edge of rear roof) are all in excellent condition.



*Looking West at Chimney #2
(Chimney #1 in background)*



Looking Northwest at Chimney #3



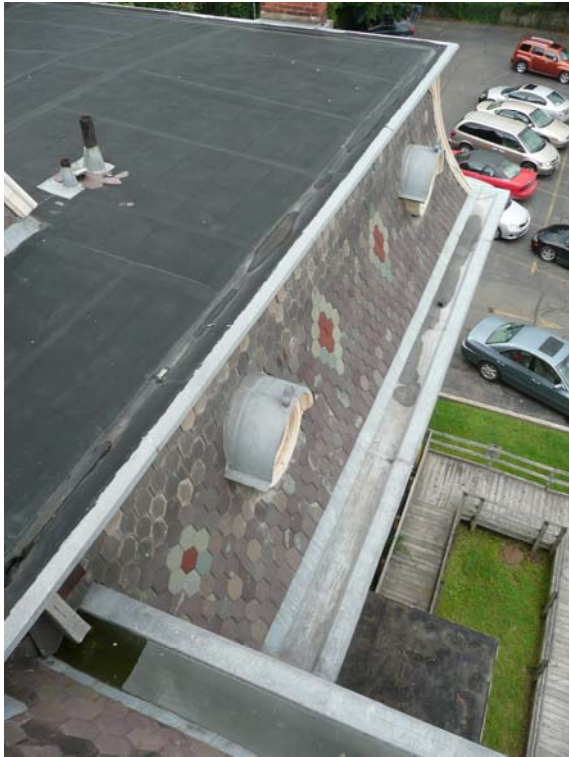
Looking North at Chimney #4

Cornices and Built-in Gutter: The mansard roofs have a detailed upper and lower wood cornice. The upper cornice has a minimal overhang and is made of linear shaped moldings with corner details that allow the cornice to flow into the hip ridge caps. The lower wood cornice has a larger overhang with two different shaped brackets supporting the overhang. All woodwork is in good condition having last been repaired in 1979. All woodwork should be scraped, washed, primed and painted soon. A paint analysis could document color history of paint colors for the house.

Each cornice supports a built-in gutter above it. These gutters were completely rebuilt and lined with stainless steel in 1979. They are in excellent condition and need regular inspection to keep drains unplugged. The downspout at the northeast gutter of the front mansard roof was plugged causing water to back up at the rear mansard roof and leak into the building. The drain was opened but the downspout was plugged at an elbow. The front and rear mansard roof gutters are each drained by two downspouts connected to an underground drainage system. There is an unused boot for the underground drainage system at the southwest corner of the house. Several lower gutters are lined with heat tape to address ice buildup in the winter. Its effectiveness should be studied further.



*Typical Upper and Lower Cornices at Mansard Roof
(Northeast corner of front mansard roof)*



*View of East Side of Rear Roof
(Note standing water in lower left of photo)*



Plugged Downspout at Northeast Corner of Front Roof



*Detail of Gutters at East Side Intersection of Front and Rear Roofs
(Note loose slates and standing water. This is the location of an active water leak inside building)*



View of West Side of Intersection of Front and Rear Roofs looking North



View of Northeast Corner of Front Roof

Dormers: The mansard roof contains three different dormer designs. All are original and made of wood with stainless steel roofing and flashing installed in 1979. All wood trim and windows are in good shape, but should be scraped, washed, primed and painted soon. The stainless steel roofing is in excellent shape. Several dormer windows have rigid insulation installed on the interior to reduce air infiltration and natural light into collection storage areas. The insulation is visible to the exterior. Interior or exterior storm windows could be installed with UV filtering with appropriate interior window treatments.



Typical Dormer at Front Roof (total of 8)



Typical Dormer at Front Roof (total of 8)



Unique Dormer at West Elevation on Front Roof (only one)



Typical Dormer at Rear Roof (total of 5)



Overhead View of Typical Front Roof Dormer (south)



Overhead View of Typical Front Roof Dormer (east)

Foundation and Walls: The cut stone foundation has two exposed finishes. The front sections of the house which were visible from the street have a smoother, more finished look than the stone at the rear of the house which is rougher. All exterior walls are of brick, again the front section of the house having a more uniform shaped brick with tight mortar joints. The rear sections have a rougher brick with wider mortar joints.

Overall the stone and brick are in good shape. Selective masonry restoration work was completed in 1979. In general the foundation should be chemically cleaned and spot pointed. Any damaged brick should be replaced with like material, in particular, an area of wall on the east elevation. Mismatched bricks over front windows to left of entrance should be replaced to blend in better. All brick should be chemically cleaned using mildest products available then mortar joints spot pointed to create a water tight building envelope. Mortar to be lime based and color to match adjacent material. Paint shadow lines from removed porch and detail at window to left of entrance should be measured and documented before washing. These elements may not be original to the Second Empire design of the house. They could have been added by Mr. Schimmelfeng.

Further observation is needed at areas of the building that have efflorescence (whiteness on the brick) to determine if this is from active water infiltration or left over from previously repaired leaks.



Typical Stone Foundation and Brick at Front of House



Typical Stone Foundation and Brick at Front of House



Typical Stone Foundation and Brick at Rear of House



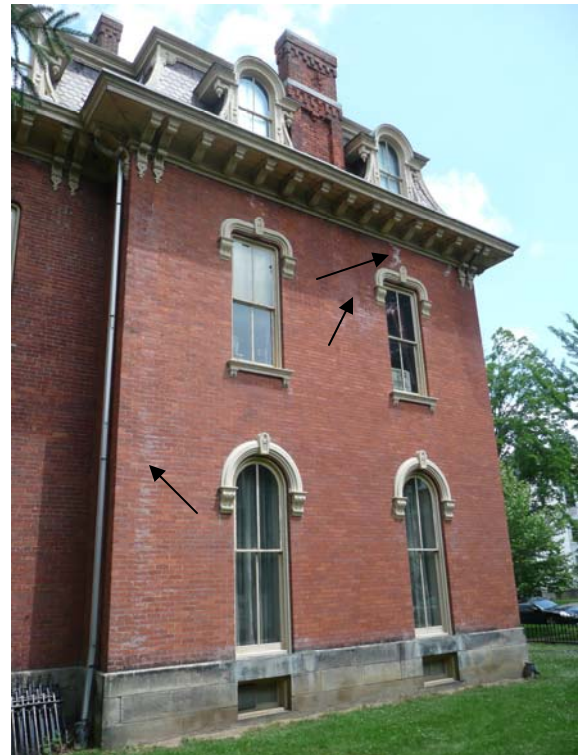
Damaged Brick at East Elevation (arrow)



Detail of Damaged Brick at East Elevation



Efflorescence on Brick (arrows)



Efflorescence on Brick (arrows)

Doors: Access to the interior of the house is provided by three exterior doors to the first floor and one to the basement. The most elaborate and impressive entrance is the south facing doorway consisting of a pair of stained, paneled wood doors with beveled glass, an arched transom window and a highly detailed recessed jamb with surrounding trim and large projecting brackets. All woodwork is in good shape as it is protected from the elements by the porch. At some point the doors were rehung to open out to the exterior, originally they would have swung in and had a pair of wood screen doors (stored on the third floor). The floor of the recessed entrance is a single piece of stone.

The second entrance to the house is on the east side and accessed by a porch. It is a single, painted, paneled wood door with two sections of etched glass with segmental arched top. It has also been rehung to open out to the exterior.

The third entrance to the first floor is on the north side and accessed by a set of precast concrete steps. The masonry opening is similar to the east entrance, but the door is a solid paneled stile and rail wood door with a panel above and a wood screen door. It may have had a tall, single door similar in detail to the east entrance. Paint lines on the brick and mounting holes indicate there was a covering with railings at the door.

The fourth entrance is to the basement on the north side of the building. It is accessed through a pair of simple wood doors mounted to a stone stair.



Front Doors with Arched Transom Window



Detail of Front Doors



East Entrance at Porch #2



*North Entrance with Evidence of Missing
Projecting Covering and Railings*



Exterior Entrance to Basement

Windows: All windows on the house are single glazed, 1 over 1 or 2 over 2, wood double hung sash in a wood frame. There are three different shapes of windows – full arched, segmental “flat” arch or straight top with rounded corners. The windows most visible from the street have cast iron hooded crowns. The windows to the rear have brick arches. Sills are cast iron except where the window goes to the interior floor level, in which case the sill is stone. All windows are in good condition. The wood windows should be washed, repaired where needed, caulked and painted. The cast iron should be cleaned and repainted. A paint analysis would identify the color history of the house. Installation of interior or exterior storm windows with UV filtering would improve the thermal performance of the window openings.

There are a total of 32 double hung windows at the first and second floors, plus one small window in the west elevation at Storage Room 206.



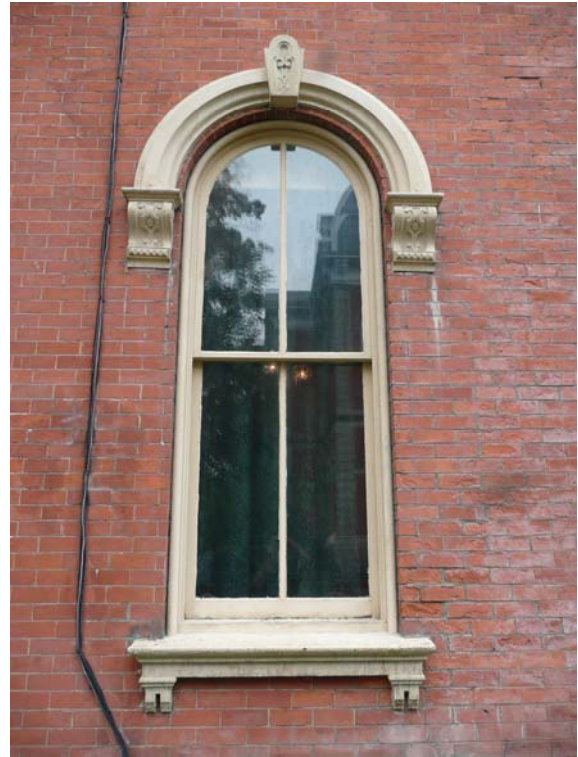
South Elevation – First Floor (total of 2 pair)



South Elevation – Second Floor (total of 3 pair)



*West Elevation – First Floor (total of 2)
North Elevation at Porch 2 – Similar with no Hood (1)*



East Elevation – First Floor (total of 3)



West Elevation – First Floor Middle (total of 2)



*East and West Elevations – First Floor (total of 5)
Second Floor Similar (total of 6)*



East and West Elevation – Second Floor (total of 5)



North and West Elevation – Second Floor (total of 3)



Typical Stone Sill



Typical Cast Iron Sill

Porch 1 (South): The ground level focal point of the front façade is the entrance porch. It is also the most curious architectural element of the entire exterior of the house. It is the one piece that appears to not be of the original 1873 Second Empire design. We know it appears in the undated historic photo of the house with the larger porch that has since been removed. The concrete floor and the CMU block foundation indicates that it has been modified some time in the twentieth century. The columns, arches and general detailing do not fit the Second Empire style. The stone steps could be original to the house but may have been moved away from the building. The large brackets attached to the door frame indicate that there may not have originally been a projecting porch but instead a covering protecting the recessed entrance that was supported by the brackets. More research will be needed to confirm this idea.



Front Entrance Porch looking North



Front Entrance Porch looking West



Close-up View of Stone Steps



Close-up View of CMU Foundation

The condition of the front porch is fair to good. Areas that are protected from the weather are in good condition. Woodwork that is lower is in need of selective repairs in particular the column bases. All wood surfaces should be scraped, washed, primed and painted. A paint analysis would help determine color history and place the elements of the porch in the timeline with other painted surfaces on the house.



Detail of Railing and Pilaster



Detail of Deteriorated Column Base



Detail of Recessed Door Frame



Detail of Door Frame and Brackets

Porch 2 (East): The two bay, wood porch appears to be original to the house. The detailing is in character with Second Empire and matches other woodwork on the house. A newer wood floor has been installed over the original floor to be flush with the first floor as this is the accessible entrance to the building. Cut out skirting can be seen under the ramp. The roof is in poor condition and is allowing water to leak behind the wood cornice and cause deterioration. The existing roofing should be removed, damaged decking repaired, and a new EPDM roof installed. All damaged wood work should be replaced and entire porch scraped, washed, primed and painted. New handrails should be installed at the steps. Repair downspout to eliminate water leakage on adjacent brick wall.

The handicap ramp should be redesigned to blend in better with the building and site. The existing design does not comply with current accessibility clearance requirements.



View of Porch 2 Looking West



View of Porch 2 Looking South



Handicap Accessible Ramp



Detail of Porch – Downspout Leaking on Brick



Deteriorated Downspout

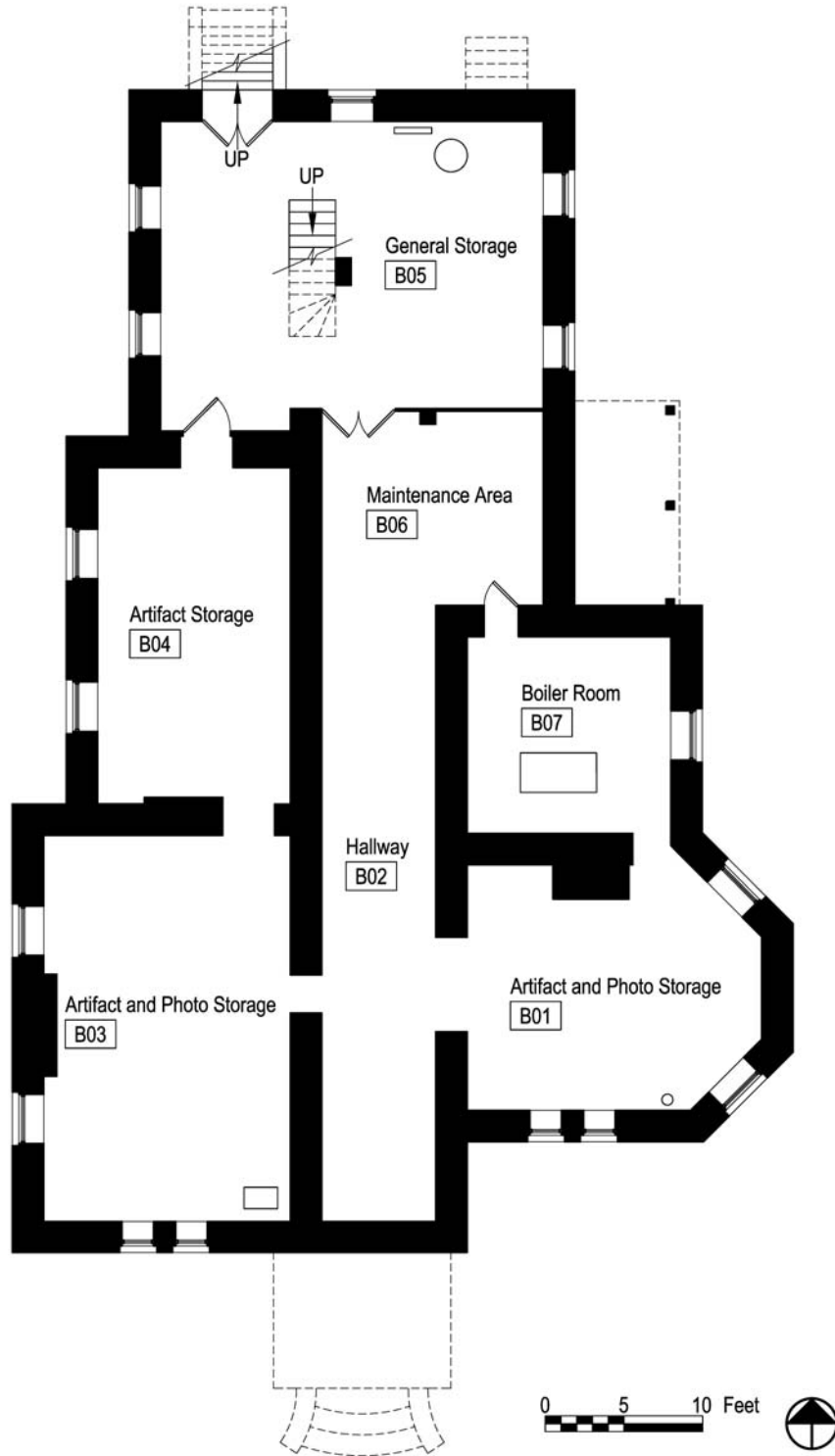


Detail of Damaged Wood from Leaking Roof



View of Porch Roof from Second Floor Window

8. BASEMENT DESCRIPTION



Basement Floor Plan



View of North Wall of Room



View of East and South Wall of Room

Room B01: Artifact and Photo Storage

Size: 18'-8" x 15'-7" (E/W x N/S)
Flooring: Unpainted concrete
Baseboard: None
Walls: Stone and brick chimney
Ceiling: Exposed first floor wood joists and floor deck (+ 7'-3" high)
Doors: None
Windows: Wood – painted (4)
Finishes: None

Mechanical Systems: Steam heat piping
Electrical Systems: Fluorescent light fixture and receptacles
Plumbing Systems: Water service entrance and meter

Other Features: Dehumidifier with tank that must be manually emptied

Assessment: Good condition
There is no standing water, but air feels damp



View Looking South



View Looking North

Room B02: Hallway

Size: 7'-3" x 39'-2" (E/W x N/S)

Flooring: Concrete - unpainted

Baseboard: None

Walls: Stone – painted and unpainted

Ceiling: Exposed first floor wood joists and floor deck (+ 7'-3" high)

Doors: None

Windows: None

Mechanical Systems: Steam heat piping

Electrical Systems: Incandescent light fixtures and receptacles

Plumbing Systems: None

Other Features: None

Assessment: Good condition.

There is no standing water, but air feels damp



View of Southwest Corner of Room



View of Looking Northwest

Room B03: Artifact and Photo Storage (Original Use – Basement)

Size: 15'-8" x 24'-6" (E/W x N/S)
Flooring: Concrete - unpainted
Baseboard: None
Walls: Stone - painted
Ceiling: Exposed first floor wood joists and floor deck - painted (+ 7'-3" high)
Doors: None
Windows: Wood – painted (4)

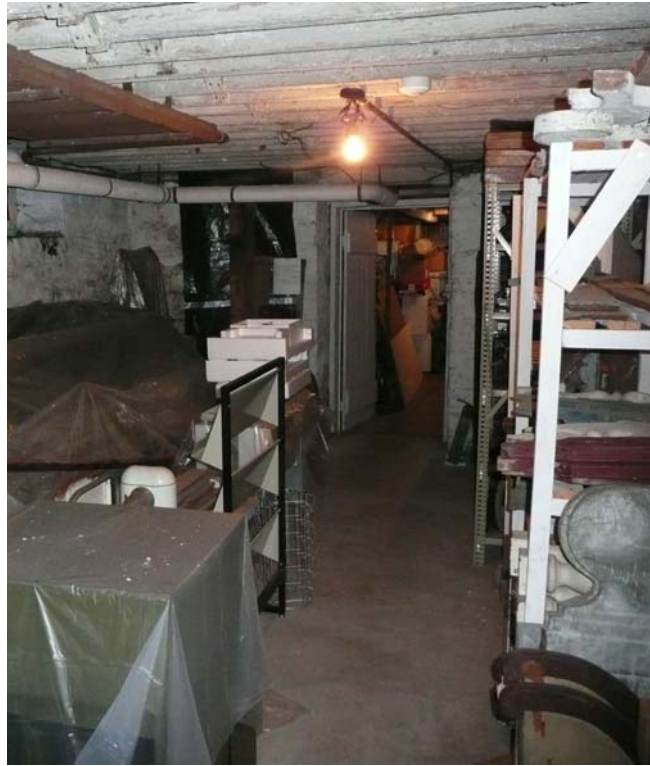
Mechanical Systems: Steam heat piping
Electrical Systems: Lighting and receptacles
Plumbing Systems: Gas service entrance and meter

Other Features: Dehumidifier with tank that must be manually emptied

Assessment: Good condition. Floor and walls should be repainted.
There is no standing water, but air feels damp



View Looking South



View Looking North

Room B04: Artifact Storage (Original Use – Basement)

Size: 12'-3" x 21'-4" (E/W x N/S)
Flooring: Concrete - unpainted
Baseboard: None
Walls: Stone - painted
Ceiling: Exposed first floor wood joists and floor deck - painted (+ 7'-3" high)
Doors: None
Windows: Wood – painted (2)

Mechanical Systems: Steam heat piping
Ceiling mounted radiator

Electrical Systems: Incandescent lights and receptacles

Plumbing Systems: None

Other Features: None

Assessment: Fair condition. Walls need repaired and painted.
There is no standing water, but air feels damp



View Looking North at Doors to Exterior Stair



View of Stair to First Floor

Room B05: General Storage (Original Use – Basement)

Size: 24'-4" x 18'-3" (E/W x N/S)
Flooring: Sheet good over wood
Baseboard: None
Walls: Tongue and groove wood over stone - painted
Ceiling: Tongue and groove wood over wood floor joists - painted (+7'-3" high)
Doors: Wood plank – painted (1 pair and 1 single)
Windows: Wood – painted (5)

Mechanical Systems: Steam heat piping
Electrical Systems: Electrical service entrance and breaker panel
Incandescent lights and receptacles

Plumbing Systems: Hot water heater - electric
Water supply lines

Other Features: Painted wood stair to first floor
Stair to exterior
Box fan and dehumidifier with tank that must be manually emptied

Assessment: Fair condition. Walls need repaired and painted.
There is no standing water, but air feels damp



View looking East



View looking toward Boiler Room

Room B06: Maintenance Area (Original Use – Basement)

Size: 14'-1" x 12'-4" (E/W x N/S)
Flooring: Concrete
Baseboard: None
Walls: Stone - painted
Ceiling: Exposed first floor wood joists and floor deck - painted (+ 7'-3" high)
Doors: Wood plank – painted (1 pair and 1 single)
Windows: None

Mechanical Systems: Steam heat piping
Electrical Systems: Fluorescent light and receptacles
Alarm system control panel
Plumbing Systems: None

Other Features: None

Assessment: Fair condition. Walls need repaired and painted.
There is no standing water, but air feels damp



View of Steam Boiler



Detail of Infilled Window facing East

Room B07: Boiler Room (Original Use – Basement)

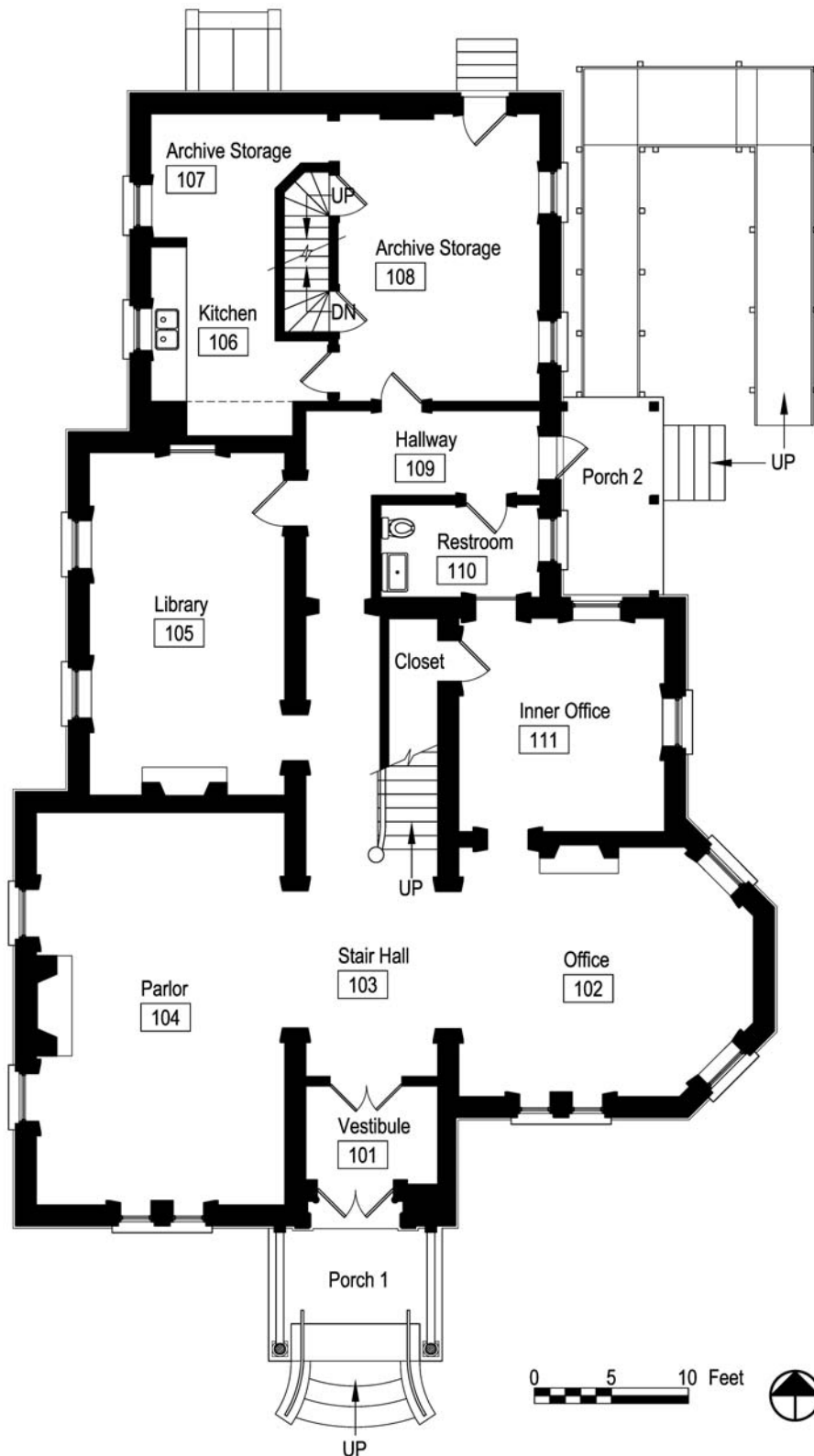
Size: 13'-0" x 12'-6" (E/W x N/S)
Flooring: Concrete - old
Baseboard: None
Walls: Stone – painted and unpainted
Ceiling: Gypsum board (+ 7'-3" high)
Doors: None
Windows: Wood frame with wood infill panel

Mechanical Systems: Gas fired steam boiler (installed circa 2007)
Electrical Systems: Incandescent light and receptacle
Plumbing Systems: Water line to boiler

Other Features: None

Assessment: Fair condition. Walls need repaired and painted.
Install new concrete floor
Boiler room is not separated from rest of building by fire resistant enclosure.
There is no standing water, but air feels damp

9. FIRST FLOOR DESCRIPTION



First Floor Plan



Floor Detail



Pendant Light Fixture and Ceiling Detail

Room 101 – Vestibule: (Original Use – Same)

Size: 8'-7" x 6'-5" (E/W x N/S)
Flooring: Marble
Baseboard: Wood - stained
Walls: Plaster - painted
Ceiling: Plaster - painted (+13'-0")
Doors: Pair of stained wood doors with glass to exterior
Pair of stained wood doors with glass to Stair Hall
Window: Arched transom window over exterior doors
Trim: Painted crown molding
Door trim – stained wood

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Pendant ceiling light fixture, switches and receptacles
Plumbing Systems: None

Other Features: None

Assessment: Good condition.

Room 102 – Office (Original Use – Library or Sitting Room)



View from Stair Hall



Looking South at Fireplace



Typical Window



Ceiling Modillion and Light Fixture



Deterioration of Wall Finish at Fireplace



Electrical and Data Wiring

Room 102 – Office (Original Use – Library or Sitting Room)

Size: 19'-0" x 16'-3" (E/W x N/S)
Flooring: 9x9 Composite tile
Baseboard: Wood - painted
Walls: Plaster - painted
Ceiling: Plaster – painted (+12'-10")
Doors: None
Window: Wood double hung with built-in shutters
Trim: Doorway and window trim – painted wood
Cornice – painted plaster

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Ceiling pendant light fixture, receptacles and light switch
Plumbing Systems: None

Other Features: Marble fireplace mantle

Assessment: Good condition
Painted surfaces need to be repainted
Flooring not historically correct
Electrical system should be updated

Room 103 – Stair Hall (Original Use - Same)



Looking South at Front Doors



Looking North at Main Staircase



Looking South toward Entrance Vestibule



Looking South from Main Stair



Wall and Ceiling Detail



Pendant Light Fixture

Room 103 – Stair Hall (Original Use - Same)

Size: 8'-7" x 30'-1" (E/W x N/S)
Flooring: 9x9 Composite tile
Baseboard: Wood - stained
Walls: Painted plaster and "Lincrusta" wallcovering at wainscot
Ceiling: Plaster – painted (+12'-11")
Doors: None
Windows: None
Trim: Doorway trim – stained wood
Cornice – painted plaster

Other Features: Stained wood staircase

Mechanical Systems: Cast iron steam radiator, thermostat
Electrical Systems: Ceiling pendant light fixture, receptacles and light switches
Plumbing Systems: None

Assessment: Overall good condition is good.
Painted surfaces need to be repainted and stained surfaces washed
Flooring not historically correct
Electrical system should be updated

Room 104 – Parlor (Original Use – Same)



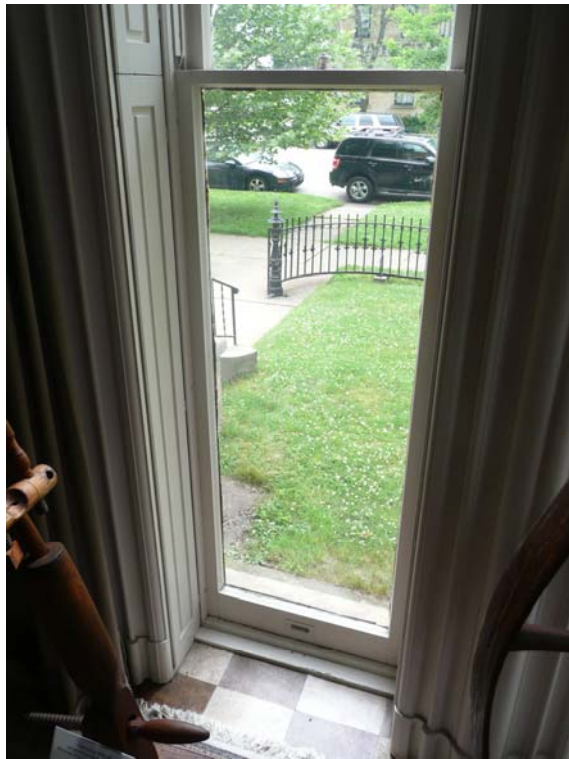
View Looking Southwest



View of Fireplace on West Wall



View from Parlor toward Stair Hall



Typical Window in Parlor with Built-in Shutters



Detail of Chandelier and Ceiling

Room 104 – Parlor (Original Use – Same)

Size: 16'-2" x 25'-6" (E/W x N/S)
Flooring: 9x9 Composite tile
Baseboard: Wood - painted
Walls: Plaster - painted
Ceiling: Plaster – painted (+12'-10")
Doors: None
Windows: Wood double hung windows with built-in shutters
Trim: Doorway and windows – painted wood
Cornice – painted plaster

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Pendant ceiling light fixture, switches and receptacles
Plumbing Systems: None

Other Features: Large painted wood fireplace mantle

Assessment: Overall good condition is good.
Painted surfaces need to be repainted and stained surfaces washed
Flooring not historically correct
Electrical system should be updated

Room 105 – Library (Original Use – Dining Room)



View Looking South at Fireplace



View Looking North



View of West Wall



Detail of Pendant Light Fixture and Ceiling

Room 105 – Library (Original Use – Dining Room)

Size: 12'-9" x 22'-3" (E/W x N/S)
Flooring: Oak strip flooring
Baseboard: Stained wood
Walls: Painted plaster and embossed wall covering at wainscot
Ceiling: Painted plaster (+12'-10")
Doors: Stained wood
Windows: Stained wood double hung windows
Trim: Stained wood doorway and window trim
Painted plaster cornice

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Pendant ceiling light fixture, switches and receptacles
Plumbing Systems: None

Other Features: Decorative stained wood fireplace mantle

Assessment: Overall good condition is good.
Painted surfaces could be repainted and stained surfaces washed
Electrical system should be updated



View Looking West



View Looking South

Room 106 – Kitchen (Original Use – Butler’s Pantry)

Size: 8'-1" x 10'-0" (E/W x N/S)
Flooring: 9x9 composite tile
Baseboard: Painted wood
Walls: Painted plaster
Ceiling: Painted plaster (+10'-11")
Doors: Painted wood
Windows: Painted double hung wood window
Trim: Painted wood doorway and window trim

Mechanical Systems: None
Electrical Systems: Surface mounted ceiling light fixture, switches and receptacles
Plumbing Systems: Sink

Other Features: Painted wood cabinetry

Assessment: Overall good condition is good.
Painted surfaces could be repainted
Flooring not historically correct
Electrical system should be updated



View Looking North from Kitchen



Detail of Area under West Window

Room 107 – Archive Storage (Original Use – Store Room)

Size: 8'-1" x 8'-1" (E/W x N/S)
Flooring: 9x9 composite tile
Baseboard: Painted wood
Walls: Painted plaster
Ceiling: Painted plaster (+10'-11")
Doors: None
Windows: Painted double hung wood window
Trim: Painted wood doorway and window trim

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Surface mounted ceiling light fixture, switches and receptacles
Plumbing Systems: None

Other Features: None

Assessment: Overall good condition is good.
Painted surfaces could be repainted
Flooring not historically correct
Electrical system should be updated



View Looking North at Exit Door to Exterior



View Looking West at Stair to Second Floor

Room 108 – Archive Storage (Original Use - Kitchen)

Size: 13'-2" x 18'-8" (E/W x N/S)
Flooring: Composite sheet
Baseboard: Painted wood
Walls: Painted plaster
Ceiling: Painted plaster (+10'-10 1/2")
Doors: Painted wood
Windows: Painted wood double hung windows
Trim: Painted wood door and window trim

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Fluorescent ceiling light, switches and receptacles
Plumbing Systems: None

Other Features:

Assessment: Overall good condition is good.
Painted surfaces could be repainted
Flooring not historically correct
Electrical system should be updated
Door to exterior is labeled as an exit, but swings in and has a deadbolt



View Looking East at Exterior Door to Porch 2



View Looking North from Stair Hall

Room 109 – Hallway (Original Use - Same)

Size: 15'-3" x 5'-6" and 4'-3" x 6'-8" (E/W x N/S)

Flooring: Composite sheet

Baseboard: Stained wood

Walls: Painted plaster

Ceiling: Painted plaster (+10'-10 1/2")

Trim: Stained wood doorway trim

Painted wood picture molding

Doors: Stained wood with glass panels

Windows: None

Mechanical Systems: None

Electrical Systems: Surface mounted ceiling light fixture, switches and receptacles

Plumbing Systems: None

Other Features: None

Assessment: Overall good condition is good.
Painted surfaces could be repainted
Flooring not historically correct
Electrical system should be updated



View Looking West



View Looking East

Room 110 – Restroom (Original Use - Lavatory)

Size: 10'-4" x 6'-0" (E/W x N/S)
Flooring: 9x9 composite tile
Baseboard: None
Walls: Painted wood wainscot
Painted plaster
Ceiling: Painted plaster (+10'-10 3/4")
Doors: Painted wood
Windows: Painted wood double hung window

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Wall sconces
Plumbing Systems: Lavatory and toilet

Assessment: Overall functional condition, but not handicap accessible
Painted surfaces need to be repaired and repainted
Flooring not historically correct
Electrical system should be updated
Install an exhaust fan



View Looking South



Detail of Pendant Light Fixture and Ceiling

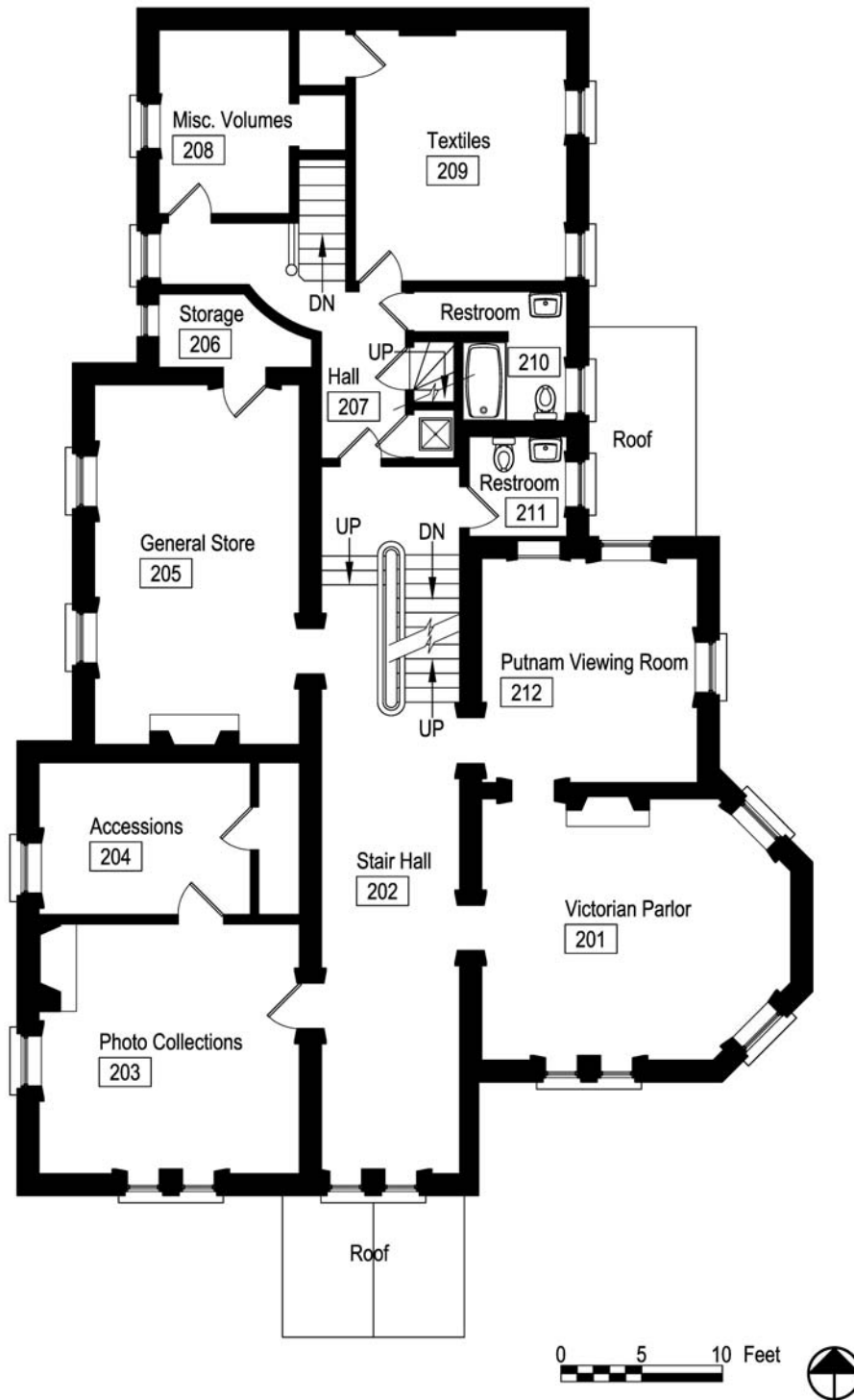
Room 111 – Inner Office (Original Use – Billiard Room, Sitting Room or Office)

Size: 13'-5" x 13'-11" (E/W x N/S)
Flooring: 9x9 composite tile
Baseboard: Painted wood
Walls: Painted plaster
Ceiling: Painted plaster (+12'-10")
Doors: Painted wood
Windows: Painted wood double hung windows
Trim: Painted wood doorway and window trim
Painted plaster cornice

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Ceiling pendant light fixture, receptacles and switches
Plumbing Systems: None

Assessment: Overall good condition is good
Painted surfaces need to be repainted
Flooring not historically correct
Electrical system should be updated

10. SECOND FLOOR DESCRIPTION



Second Floor Plan



View of Fireplace at North Wall



View Looking Southeast

Room 201 – Victorian Parlor (Original Use – Bedroom)

- Size: 19'-2" x 16'-3" (E/W x N/S)
Flooring: Stained oak tongue and groove wood floor (running East to West)
Baseboard: Stained wood
Walls: Painted plaster
Ceiling: Painted plaster (+12'-7 1/2")
Doors: None
Windows: Stained wood double hung windows with built-in shutters
Trim: Stained wood doorway and window trim
Painted plaster cornice

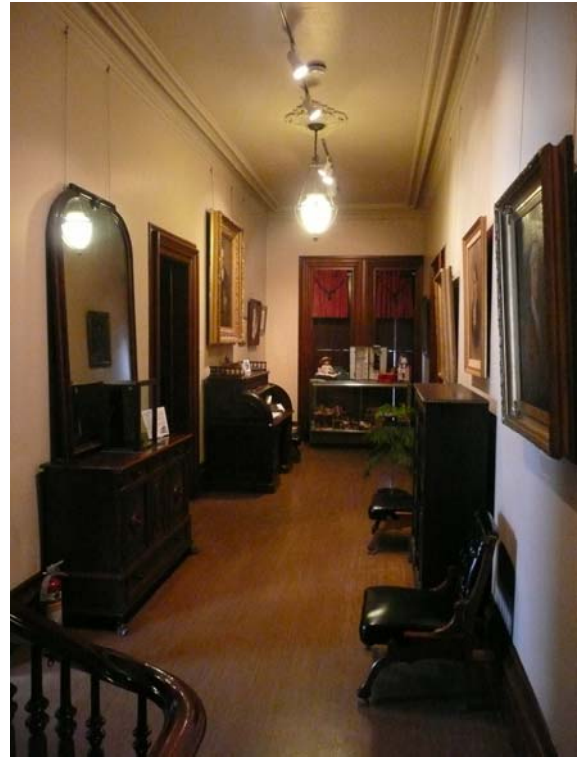
- Mechanical Systems: Cast iron steam radiator
Electrical Systems: Ceiling mounted light fixture, switches and receptacles
Plumbing Systems: None

Other Features: One exposed roof framing member

Assessment: Good condition
Light fixture not historically correct
Update electrical systems



View Looking North at Stair Landing



View Looking South



View Looking North at Stair Landing



Detail of Lighting and Ceiling



View Looking North at Stair to Third Floor



View from Stair Landing Looking South to Third Floor

Room 202 – Stair Hall (Original Use – Same)

Size: 8'-7" x 43'-10" (E/W x N/S)
Flooring: Composite sheet good
Baseboard: Stained wood
Walls: Painted plaster
Ceiling: Painted plaster (+12'-7 1/2")
Doors: None
Windows: Stained wood double hung windows with built-in shutters
Trim: Stained wood doorway and window trim
Painted plaster cornice

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Ceiling mounted light fixture, track lighting, switches and receptacles
Plumbing Systems: None

Other Features: Stained wood staircase

Assessment: Good condition
Track lighting not historically correct
Flooring not historically correct
Update electrical systems

Room 203 – Photo Collections (Original Use – Bedroom)



View Looking South at Front Windows



View Looking West



View Looking West at Fireplace



Detail View of Fireplace



Detail of Lighting and Ceiling



Detail of Water Damaged Plaster at Chimney

Room 203 – Photo Collections (Original Use – Bedroom)

Size: 16'-2" x 15'-6" (E/W x N/S)
Flooring: Composite sheet good
Baseboard: Two toned stained wood
Walls: Painted plaster
Ceiling: Painted plaster (+12'-7 1/2")
Doors: Stained wood
Windows: Stained wood double hung windows with built-in shutters
Trim: Two toned stained wood trim at doorways and windows
Painted plaster cornice

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Ceiling mounted fan/light fixture, switches and receptacles
Plumbing Systems: None

Other Features: Stained wood fireplace mantle

Assessment: Fair condition
Light fixture and flooring are not historically correct
Plaster walls, ceiling and cornice water damaged over fireplace
Fix roof leak, let plaster dry out, repair plaster and repaint entire room
Update electrical systems



View Looking West



Detail of Water Damaged Plaster at West Wall

Room 204 – Accessions (Original Use – Dressing Room)

Size: 13'-1" x 9'-5" (E/W x N/S)
Flooring: Wood floor
Baseboard: Two toned stained wood
Walls: Painted plaster
Ceiling: Painted plaster (+12'-7 1/2")
Doors: Stained wood
Windows: Stained wood double hung windows with built-in shutters
Trim: Two toned stained wood trim at doorways and windows

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Ceiling fluorescent light fixture, switches and receptacles
Plumbing Systems: None

Other Features: None

Assessment: Fair condition
Light fixture is not historically correct
Plaster walls and ceiling are water damaged over window
Fix roof leak, let plaster dry out, repair plaster and repaint entire room
Update electrical systems



View Looking West



View Looking Northwest

Room 205 – General Store (Original Use – Bedroom)

Size: 12'-9" x 22'-3" (E/W x N/S)
Flooring: Composite sheet good
Baseboard: Painted wood
Walls: Painted plaster
Ceiling: Painted plaster (+12'-7 1/2")
Doors: Painted wood
Windows: Painted wood double hung windows (covered by displays)
Trim: Painted wood doorway and window trim
Painted plaster cornice

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Ceiling mounted light fixture, switches and receptacles
Plumbing Systems: None

Other Features: None

Assessment: Overall good condition
Light fixture and flooring are not historically correct
Plaster walls and ceiling are water damaged at southwest corner of room
Fix roof leak, let plaster dry out, repair plaster and repaint
Update electrical systems



View Looking West

Room 206 – Closet (Original Use – Same)

Size: 9'-6" x 4'-7" (E/W x N/S)
Flooring: Composite sheet good
Baseboard: Painted wood
Walls: Painted plaster
Ceiling: Painted plaster (+8'-2 ½")
Doors: None
Windows: Painted wood window
Trim: Painted wood doorway and window trim

Mechanical Systems: None
Electrical Systems: Ceiling mounted light fixture
Plumbing Systems: None

Other Features: Built-in storage

Assessment: Overall good condition
Update electrical systems

Room 207 – Hallway (Original Use – Same)



View Looking North



View Looking South at Door to Main Stair Hall



View Looking West



View Down Stair to First Floor



View of Utility Closet



View of Stair to Third Floor

Room 207 – Hallway (Original Use – Same)

Size: 5'-3" x 10'-4" and 11'-6" x 3'-10" (E/W x N/S)
Flooring: Composite sheet good
Baseboard: Painted wood
Walls: Painted plaster
Ceiling: Painted plaster (+8'-2 1/2")
Doors: Painted wood
Windows: Painted wood double hung windows

Trim: Painted wood doorway and window trim

Mechanical Systems: Cast iron steam radiator

Electrical Systems: Ceiling and wall mounted light fixtures, switches and receptacles

Plumbing Systems: Sink in utility closet

Other Features: Stained wood railing at stair to first floor

Assessment: Good overall condition
Flooring and light fixtures are not historically correct
Plaster walls and ceiling are water damaged at southwest corner of room
Fix roof leak, let plaster dry out, repair plaster and repaint
Update electrical systems



View Looking North



View Looking East into Closet

Room 208 – Miscellaneous Volumes (Original Use – Bedroom)

Size: 8'-1" x 11'-5" (E/W x N/S)

Flooring: Composite sheet good

Baseboard: Painted wood

Walls: Painted plaster

Ceiling: Painted plaster (+8'-2 1/2")

Doors: Painted wood

Windows: Painted wood double hung window (covered by shelving)

Trim: Painted wood doorway and window trim

Mechanical Systems: Cast iron steam radiator

Electrical Systems: Ceiling and wall mounted light fixtures, switches and receptacles

Plumbing Systems: Sink in utility closet

Other Features: Stained wood railing at stair to first floor

Assessment: Good overall condition

Flooring and light fixtures are not historically correct

Update electrical system



View Looking North East

Room 209 – Textiles (Original Use – Bedroom)

Size: 13'-2" x 15'-7" (E/W x N/S)
Flooring: Composite sheet good
Baseboard: Painted wood
Walls: Painted plaster
Ceiling: Painted plaster (+8'-2 1/2")
Doors: Painted wood
Windows: Painted wood double hung window (covered by shelving)
Trim: Painted wood doorway and window trim

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Ceiling and wall mounted light fixtures, switches and receptacles
Plumbing Systems: Sink in utility closet

Other Features: Stained wood railing at stair to first floor

Assessment: Good overall condition
Flooring and light fixtures are not historically correct
Update electrical system



View Looking North



View Looking South

Room 210 – Restroom (Original Use – Bathroom)

- Size: 6'-5" x 8'-0" (E/W x N/S)
- Flooring: 9x9 composite tile
- Baseboard: Tile
- Walls: Painted plaster
- Ceiling: Painted plaster (+8'-2 1/2")
- Doors: None
- Windows: Painted wood double hung window
- Trim: Painted wood doorway and window trim

- Mechanical Systems: Cast iron steam radiator
- Electrical Systems: Ceiling and wall mounted light fixtures, switches and receptacles
- Plumbing Systems: Lavatory, toilet and tub

Other Features: Tile walls at tub

Assessment: Good overall condition
Bathroom appears to have been remodeled in the 1940's
Update electrical system
Install an exhaust fan



View Looking North



View Looking East at Water Damaged Plaster

Room 211 – Restroom (Original Use – Same)

Size: 6'-1" x 6'-3" (E/W x N/S)
Flooring: 9x9 composite tile
Baseboard: Tile
Walls: Painted plaster
Ceiling: Painted plaster (+8'-2 1/2")
Doors: Painted and stained wood
Windows: Painted wood double hung window
Trim: Painted wood doorway trim

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Ceiling mounted light fixture, switch and receptacles
Plumbing Systems: Lavatory and toilet

Other Features: None

Assessment: Fair overall condition
Restroom appears to have been remodeled in the 1940's
Update electrical system
Install an exhaust fan
Plaster walls and ceiling are water damaged at southeast corner of room
Fix roof leak, let plaster dry out, repair plaster and repaint entire room



View Looking Southeast



View Looking Northeast

Room 212 – Putnam Viewing Room (Original Use – Bedroom)

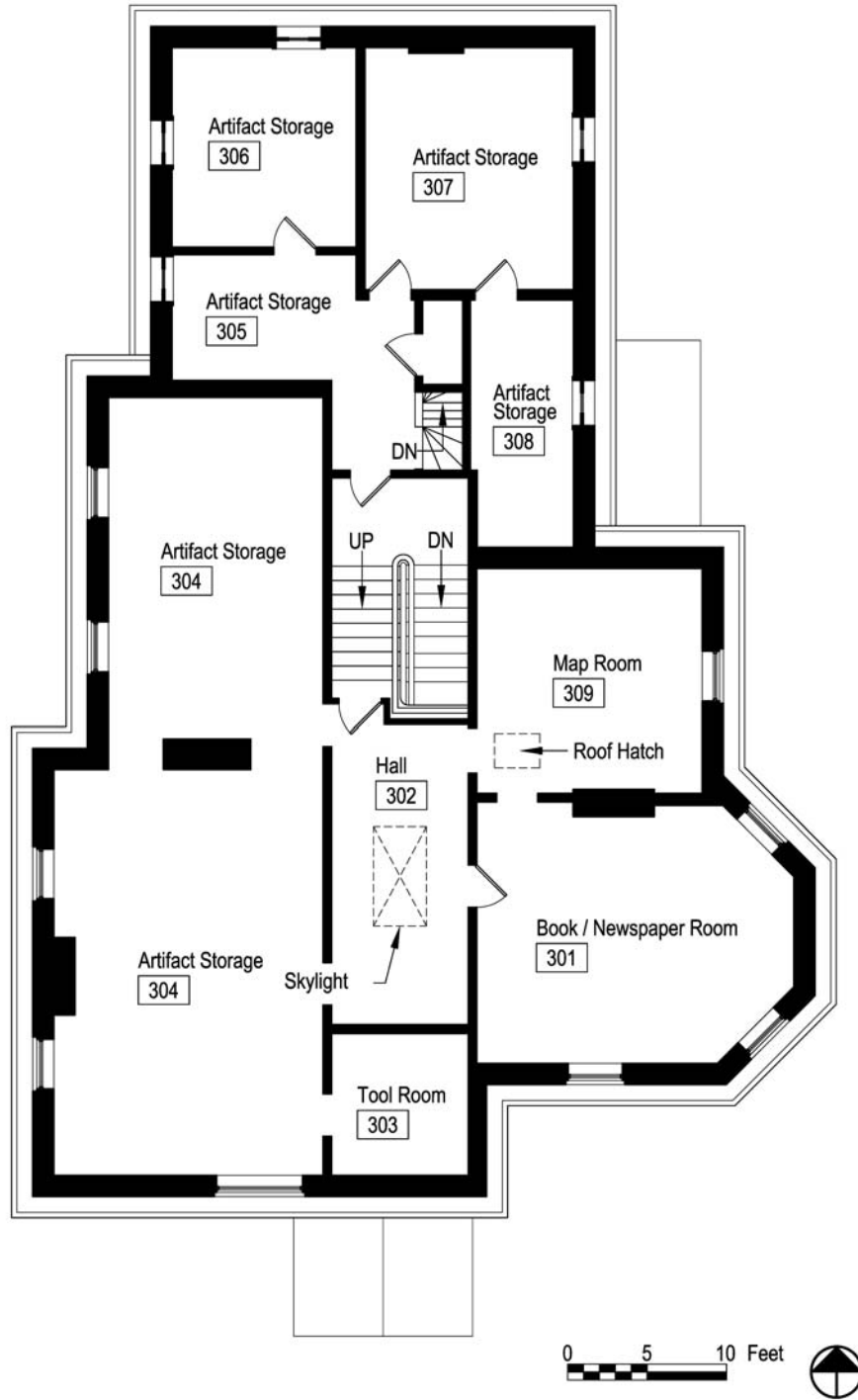
Size: 13'-5" x 13'-11" (E/W x N/S)
Flooring: Composite sheet good
Baseboard: Stained wood
Walls: Painted plaster
Ceiling: Painted plaster (+12'-7 1/2")
Doors: None
Windows: Stained wood double hung windows
Trim: Stained wood doorway and window trim
Painted plaster cornice

Mechanical Systems: Cast iron steam radiator
Electrical Systems: Ceiling mounted light fixture, switches and receptacles
Plumbing Systems: None

Other Features: None

Assessment: Overall good condition
Light fixture and flooring are not historically correct
Update electrical system

11. THIRD FLOOR DESCRIPTION



Third Floor Plan



View Looking East



View Looking East along South Wall

Room 301 – Book and Newspaper Room

Size: 20'-0" x 16'-5" (E/W x N/S)
Flooring: Painted tongue and groove wood floor
Baseboard: Painted wood
Walls: Painted plaster
Ceiling: Painted plaster (+8'-7")
Doors: Painted wood
Windows: Painted wood double hung windows (covered with rigid insulation board)
Trim: Painted wood at doorways and window sills

Mechanical Systems: None
Electrical Systems: Ceiling mounted light fixture, switch, receptacles and fuse box
Plumbing Systems: None

Other Features: None

Assessment: Overall fair condition
Repair damaged plaster and repaint
Update electrical system



View Looking South



Detail of Skylight

Room 302 – Hall

Size: 8'-7" x 18'-10" (E/W x N/S)
Flooring: Painted tongue and groove wood floor
Baseboard: Painted wood
Walls: Painted plaster
Ceiling: Painted plaster (+8'-7")
Doors: Painted wood
Windows: Painted wood skylight
Trim: Painted wood at doorways

Mechanical Systems: None
Electrical Systems: Receptacle
Plumbing Systems: None

Other Features: None

Assessment: Overall fair condition
Paint
Update electrical system and add light fixture



View Looking Northeast



View Looking Southeast

Room 303 – Tool Room

Size: 8'-7" x 8'-11" (E/W x N/S)
Flooring: Painted tongue and groove wood floor
Baseboard: Painted wood
Walls: Unpainted plaster
Ceiling: Unpainted plaster (+8'-7")
Doors: None
Windows: None
Trim: Painted wood at doorway

Mechanical Systems: None
Electrical Systems: Portable light fixture
Plumbing Systems: None

Other Features: None

Assessment: Overall fair condition
Repair damaged plaster and paint
Update electrical system

Room 304 – Artifact Storage



View Looking South



View Looking South



Detail of Dormer Window facing Front of House



Detail of Dormer Window facing West

Room 304 – Artifact Storage

Size: 16'-11" x 25'-6" and 13'-6" x 23'-4" (E/W x N/S)
Flooring: Painted tongue and groove wood floor
Baseboard: Painted wood
Walls: Painted plaster
Ceiling: Painted plaster (+8'-7")
Doors: None
Windows: Painted wood double hung windows (some covered with rigid insulation board)
Trim: Painted wood at doorways and window sills

Mechanical Systems: None

Electrical Systems: Ceiling mounted fluorescent light fixtures, switches and receptacles

Plumbing Systems: None

Other Features: None

Assessment: Overall fair condition
Repair roof lead at west chimney, let plaster dry out, repair plaster and paint
Repair all other damaged plaster and repaint
Update electrical system

Room 305 – Artifact Storage



View Looking North



View Looking South at Door to Main Stair



View Looking Down Stair to Second Floor



View Looking West



View Looking East into Closet



Detail of Lighting and Electrical

Room 305 – Artifact Storage

Size: 5'-3" x 10'-8" and 11'-6" x 7'-11" (E/W x N/S)
Flooring: Unpainted tongue and groove wood floor
Baseboard: Painted wood
Walls: Unpainted plaster
Painted wood bead board and some plaster
Ceiling: Unpainted plaster (+8'-7")
Doors: Painted wood
Windows: Painted wood round windows
Trim: Painted wood at doorways and windows

Mechanical Systems: None

Electrical Systems: Wall and ceiling mounted light fixtures and receptacles

Plumbing Systems: None

Other Features: Stair down to second floor

Assessment: Overall fair condition
Repair damaged plaster and paint
Update electrical system



View Looking Northwest



Detail of Dormer Window

Room 306 – Artifact Storage

Size: 11'-6" x 12'-6" (E/W x N/S)
Flooring: Unpainted tongue and groove wood floor
Baseboard: Painted wood
Walls: Painted plaster
Ceiling: Painted plaster (+8'-7")
Doors: Painted wood
Windows: Painted wood round windows
Trim: Painted wood at doorways and windows

Mechanical Systems: None
Electrical Systems: Ceiling mounted light fixtures
Plumbing Systems: None

Other Features: None

Assessment: Overall fair condition
Repair damaged plaster and paint
Update electrical system



View Looking North



View of East Wall

Room 307 – Artifact Storage

Size: 13'-2" x 15'-3" (E/W x N/S)
Flooring: Unpainted tongue and groove wood floor
Baseboard: Painted wood
Walls: Unpainted plaster
Ceiling: Unpainted plaster (+8'-7")
Doors: Painted wood
Windows: Painted wood round windows
Trim: Painted wood at doorways and windows

Mechanical Systems: None

Electrical Systems: None

Plumbing Systems: None

Other Features: None

Assessment: Overall fair condition
Repair damaged plaster and paint
Update electrical system



View Looking South



Detail of Southeast Corner with Water Damage

Room 308 – Artifact Storage

Size: 6'-6" x 15'-6" (E/W x N/S)
Flooring: Unpainted tongue and groove wood floor
Baseboard: Painted wood
Walls: Unpainted plaster
Ceiling: Unpainted plaster (+8'-7")
Doors: Painted wood
Windows: Painted wood round windows
Trim: Painted wood at doorways and windows

Mechanical Systems: None
Electrical Systems: None
Plumbing Systems: None

Other Features: None

Assessment: Overall fair condition
Repair roof leak, let wall dry out
Repair damaged plaster and paint
Update electrical system



View Looking East at Dormer Window



View Looking West at Roof Access Hatch

Room 309 – Map Room (Original Use – ?)

Size: 14'-2" x 14'-2" (E/W x N/S)
Flooring: Painted tongue and groove wood floor
Baseboard: Painted wood
Walls: Painted plaster
Ceiling: Painted plaster (+8'-7")
Doors: Painted wood
Windows: Painted wood double hung window (covered with rigid insulation board)
Trim: Painted wood at doorways and window sills

Mechanical Systems: None
Electrical Systems: Ceiling mounted fluorescent light fixture, switch and receptacles
Plumbing Systems: None

Other Features: Access hatch to roof and ladder

Assessment: Overall fair condition
Repair damaged plaster and repaint
Update electrical system

12. UTILITY SYSTEMS DESCRIPTION



Steam Boiler in Boiler Room B07



Typical Cast Iron Radiator



Insulation on Steam Heating Pipes



Programmable Thermostat in First Floor Stair Hall

Heating System: Gas fired steam boiler with cast iron radiators throughout building. The system appears to be in good condition. The boiler was replaced in 2007. Supply lines are insulated and should be tested to see insulation contains hazardous materials. The entire system is controlled by one thermostat located in the first floor Stair Hall. Boiler should be contained within a one hour fire rated enclosure separated from the rest of the building.



Window AC Unit at Office 102



Window AC Unit at Office 102



Window AC Unit at Photo Collections 203

Air Conditioning System: The house has no central cooling system. Windows are operable with removable screens. Several rooms are cooled with portable window AC units.

Options for a more permanent year round climate control system within selective areas or the entire building should be explored. Special care must be taken to understand reasonable alternatives to conventional HVAC systems found in modern buildings. Cost, complexity, degree of improvement over existing conditions and impact on historic fabric must all be considered.

Electrical System:



Electric Meter at North Side of Building



Main Electrical Panel



Electrical and Data Wiring at Office 102



Electrical Wiring at Archive Storage 107



Light Switch at Parlor 104



Light Fixture with Plaster Damage at Restroom 211

Electrical System: The house has one electrical service and meter. The service is supplied overhead from the north.

The electrical system is an assembly of old and new components. In general the entire building should be rewired beginning with new service appropriately sized, new circuit panel with breakers, new wiring, switches, receptacles, data outlets and lighting. The locations of all devices are to be determined by the needs of each room. Period appropriate lighting should remain and new historically correct lighting added with indiscreet modern lighting to serve the use of each room.

The existing fire detection, alarm system and security system should be examined to verify its effectiveness.



Electric Hot Water Heater at Room B05



Gas Meter at South End of Room B03

Plumbing System: Domestic water is provided by the City of Warren. Hot water is generated by a 40 gallon electric water heater. Sanitary system is connected to City of Warren sewer system.

Existing plumbing fixtures are identified in the room descriptions.

Overall the plumbing system is in good working condition.

13. PERIOD OF SIGNIFICANCE

As most historic buildings have evolved and changed over time it is important to understand and document these changes and then decide if the building is to be restored to represent some past appearance, maintain all changes to date or to continue on with more changes. The Struthers-Wetmore-Schimmelfeng House is in overall very good condition and has experienced few major alterations to the building itself. The exterior remains faithful to its original design with the exception of the front porch. The interior changes are primarily decorative related. The biggest change has been to how the spaces are used.

Based on the existing conditions and the history of the house, it is recommended that the exterior of the house be restored to its original Second Empire appearance which would include modifying the front porch and repainting the exterior based on a paint analysis. The interior decorative changes from the Schimmelfeng ownership should be retained. All other rooms should retain all historic fabric and be sensitively improved to serve the proposed uses of each room. Lastly, site improvements would include recreating a late 19th century historic landscape.

14. RECOMMENDATIONS

The following items are proposed to preserve and restore the Struthers-Wetmore-Schimmelfeng House while continuing to be the headquarters of the Warren County Historical Society.

1. Site:

- Remove concrete/asphalt walkways and replace with brick
- Create historically correct period landscape
- Install gate at front iron fence

2. Exterior:

- Repair flat roofs either by removing EPDM or installing existing EPDM correctly
- Repair west brick chimney, flashing and damaged slate roof
- Selective repair of existing slate
- Replace all slate roofing material on front mansard roof
- Repair roof leaks in general
- Chemically clean and spot point brick exterior walls and stone foundation
- Repair, clean and paint all exterior wood trim based on colors from paint analysis
- Repair, clean and paint all wood windows and painted doors
- Install interior or exterior storm panels on all windows
- Restore front entrance
- Repair and paint east side porch
- Recreate covering over north door
- Redesign handicap ramp to be less conspicuous
- Install appropriate site lighting to highlight the property and building

3. Interior:

- Remove non-historic flooring
- Continue to renovate interior spaces to a period appearance through finishes, colors, lighting, window treatments, flooring and wall coverings.
- Renovate first floor restroom to be handicap accessible
- Remodel kitchen and bathrooms
- Repair plaster damaged by roof leaks
- Upgrade HVAC
- Upgrade electrical systems
- Upgrade plumbing systems
- Upgrade security and fire alarm system
- Thermally improve third floor walls and ceiling to reduce heat loss and related ice damming. Install year round climate control system for collections storage.
- Assess existence of hazardous materials and remove or encapsulate per regulations

15. REQUIREMENTS FOR TREATMENT

All proposed work to the Struthers-Wetmore-Schimmelfeng House would follow the *Secretary of the Interior's Standards for the Treatment of Historic Properties*.

The Standards are as follows:

TREATMENTS:

*There are Standards for four distinct, but interrelated, approaches to the treatment of historic properties – Preservation, Rehabilitation, Restoration and Reconstruction. **Preservation** focuses on the maintenance and repair of existing historic materials and retention of a property's form as it has evolved over time. **Rehabilitation** acknowledges the need to alter or add to a historic property to meet continuing or changing uses while retaining the property's historic character. **Restoration** is undertaken to depict a property at a particular period of time in its history, while removing evidence of other periods. **Reconstruction** re-creates vanished or non-surviving portions of a property for interpretive purposes.*

Choosing an appropriate treatment for a historic property, whether preservation, rehabilitation, restoration or reconstruction is critical. This choice always depends on a variety of factors, including the property's historical significance, physical condition, proposed use and intended interpretation.

***PRESERVATION** is defined as the act or process of applying measures necessary to sustain the existing form, integrity and material of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. New exterior additions are not within the scope of this treatment; however, the limited and sensitive upgrading of mechanical, electrical and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project.*

STANDARDS FOR PRESERVATION

- 1. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.*
- 2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*
- 3. Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection and properly documented for future research.*

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*
5. *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*
6. *The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair of limited replacement of a distinctive feature, the new material will match the old in composition, design, color and texture.*
7. *Chemical or physical treatment, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*
8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

REHABILITATION is defined as the act or process of making possible a compatible use for a property through repair, alterations and additions while preserving those portions or features which convey its historical, cultural or architectural values.

STANDARDS FOR REHABILITATION

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.*
2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*
3. *Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*
4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*
5. *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*
6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new material will match the old in design, color and texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*
7. *Chemical or physical treatment, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*
8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*
9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

RESTORATION is defined as the act or process of accurately depicting the form, features and character of a property as it appeared at a particular period of time by means of removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project.

STANDARDS FOR RESTORATION

- 1. A property will be used as it was historically or be given a new use which reflects the property's restoration period.*
- 2. Materials and features from the restoration period will be retained and preserved. The removal of materials or alteration of features, spaces and spatial relationships that characterize the period will not be undertaken.*
- 3. Each property will be recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve materials and features from the restoration period will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.*
- 4. Materials, features, spaces and finishes that characterize other historical periods will be documented prior to their alteration or removal.*
- 5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*
- 6. Deteriorated features from the restoration period will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color and texture, and, where possible, materials.*
- 7. Replacement of missing features from the restoration period will be substantiated by documentary and physical evidence. A false sense of history will not be created by adding conjectural features, features from other properties, or by combining features that never existed together historically.*
- 8. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*
- 9. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*
- 10. Designs that were never executed historically will not be constructed.*

RECONSTRUCTION is defined as the act or process of depicting, by means of new construction, the form, features and detailing of a non-surviving site, landscape, building, structure or object for the purpose of replicating its appearance at a specific period of time and in its historic location.

STANDARDS FOR RECONSTRUCTION

1. *Reconstruction will be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.*
2. *Reconstruction of a landscape, building, structure, or object in its historic location will be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures will be undertaken.*
3. *Reconstruction will include measures to preserve any remaining historic materials, features, and spatial relationships.*
4. *Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the non-surviving historic property in materials, design, color and texture.*
5. *A reconstruction will be clearly identified as a contemporary re-creation.*
6. *Designs that were never executed historically will not be constructed.*

The Recommendations for the Struthers-Wetmore-Schimmelfeng House fall under all the Treatments described above.

The building is listed on the National Register of Historic Places. Proposed work would have to be reviewed by the Pennsylvania Historical and Museum Commission if the project would be funded with State or Federal monies.

Design professionals and contractors hired to work on this building need to be experienced with historic preservation projects.

The mortar should be analyzed and the exterior and interior painted surfaces also be analyzed to determine the paint color history of the house.

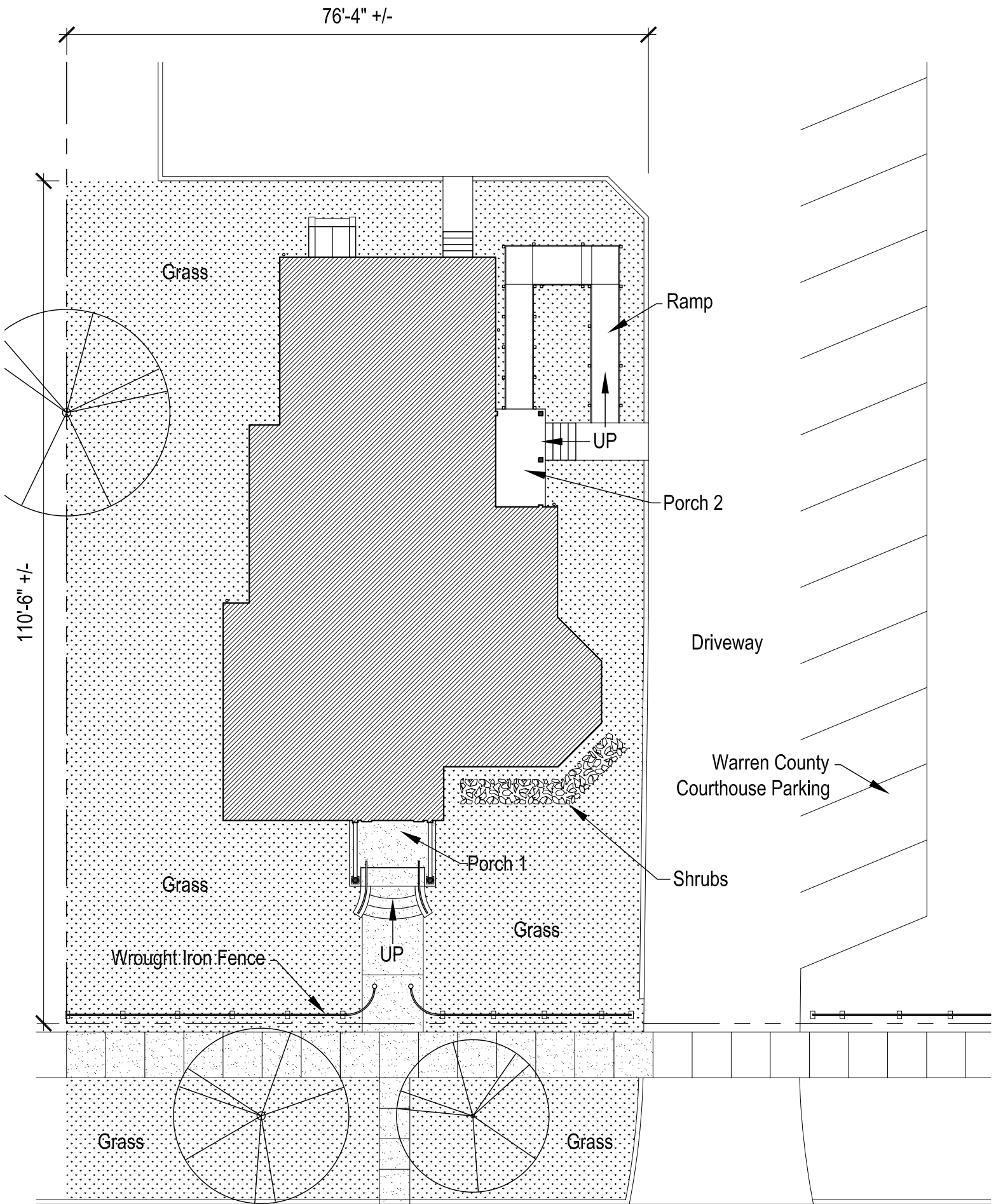
16. COST ESTIMATE AND PRIORITIZATION

The following chart represents estimated costs for proposed recommendations and associated priorities.

1. Site:	<u>Primary</u>	<u>Priority</u>
Brick walkways	\$ 3,500	Low
Period landscape	\$ 20,000	Low
Install walkway gate	\$ 750	Low
2. Exterior:		
Repair EPDM at flat roofs	\$ 15,000	High
Repair west chimney and adjacent roof	\$ 20,000	High
Selective repair of existing slate	\$ 8,000	High
Replace all slate at front mansard roof	\$ 75,000	Medium
Chemically clean and point exterior masonry	\$ 20,000	Low
Repaint exterior woodwork, windows and doors	\$ 40,000	Medium
Install storm windows	\$ 25,000	Medium
Restore front entrance	\$ 15,000	Medium
Repair, paint and reroof east side porch	\$ 15,000	Medium
Recreate covering over north door	\$ 2,500	Low
Redesign handicap ramp	\$ 20,000	Medium
Install site and exterior building lighting	\$ 5,000	Low
3. Interior:		
Remove non-historic flooring (depends if hazardous)	\$unknown	Low
Renovate interior spaces to a period appearance	\$ varies	Low
Renovate first floor restroom to be accessible	\$ 10,000	Medium
Remodel kitchen and remaining bathrooms	\$ 30,000	Low
Repair plaster damaged by roof leaks	\$ 30,000	Medium
Upgrade HVAC system (will depend on selected system)	\$unknown	Medium
Upgrade electrical system as a whole	\$ 100,000	Medium
Upgrade security and fire alarm system	\$ 15,000	Low
Thermally improve third floor and new HVAC system	\$ 75,000	Low
Address hazardous materials (material must be analyzed)	\$unknown	Low

17. APPENDICES

- A. Existing Condition Site Plan and Floor Plans
- B. Existing Condition Photographs (contact sheet format)
- C. National Register Nomination Form
- D. Completion Report for 1979 Exterior Renovations

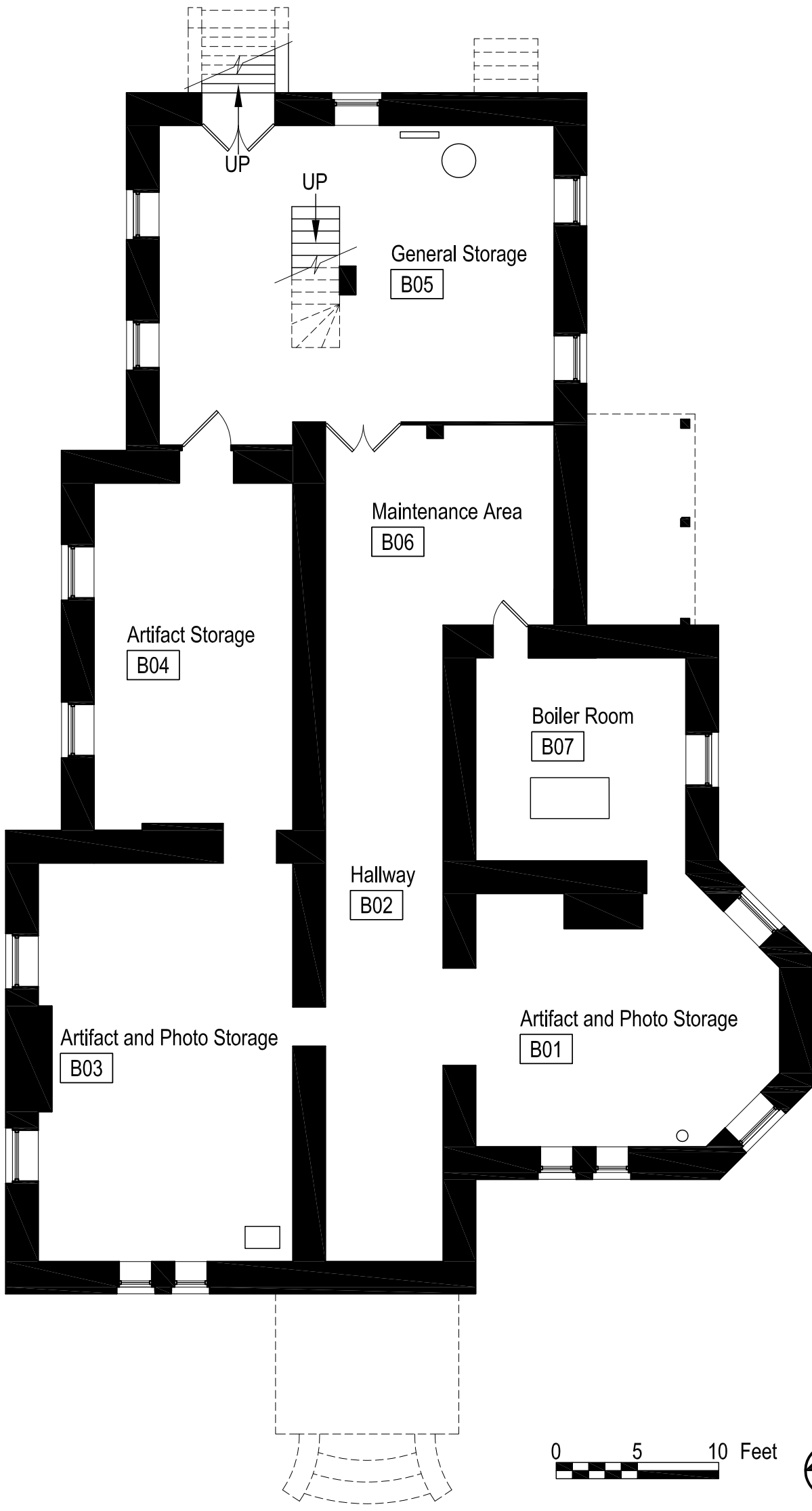


Fourth Avenue

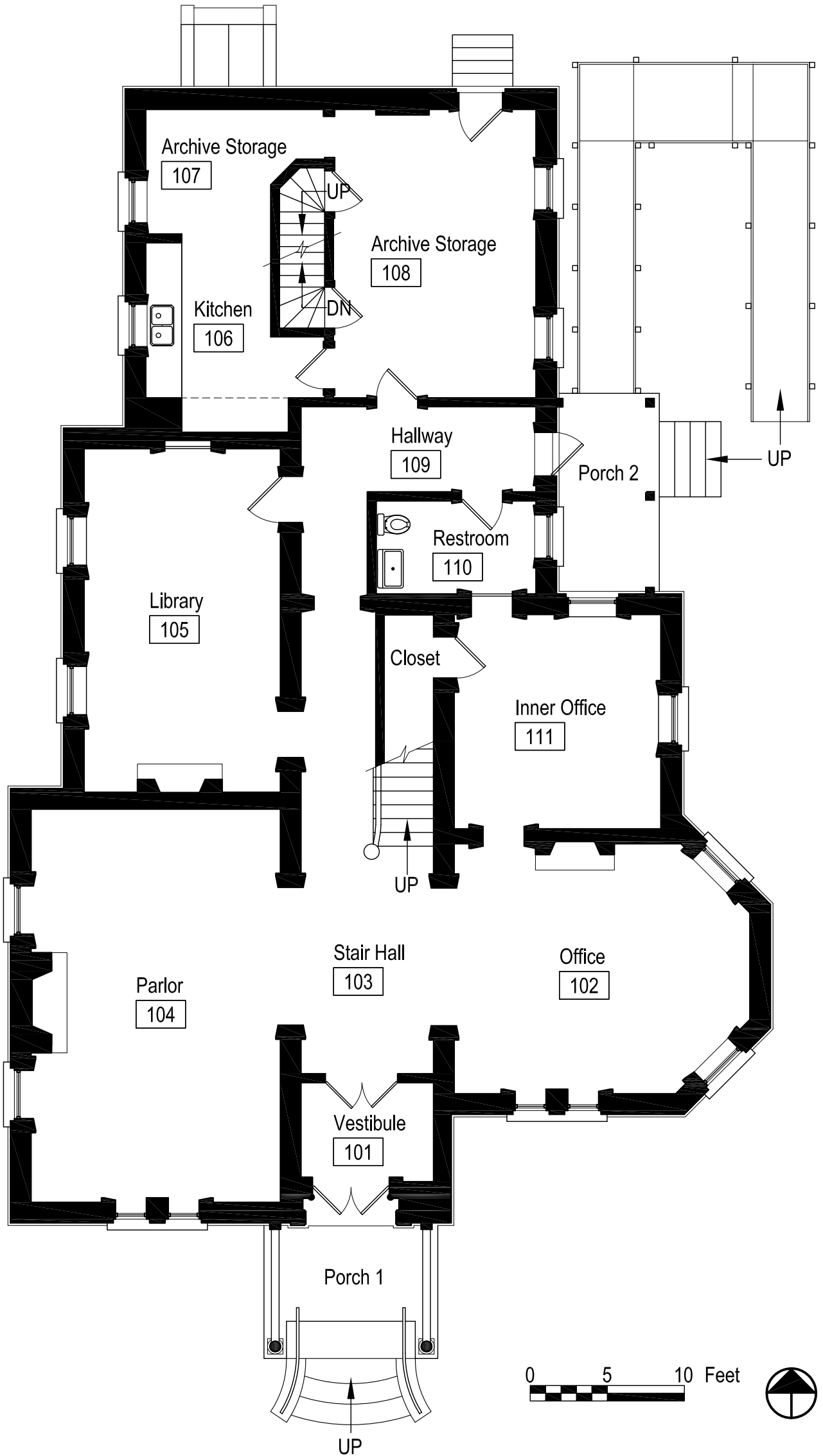
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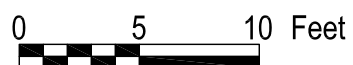
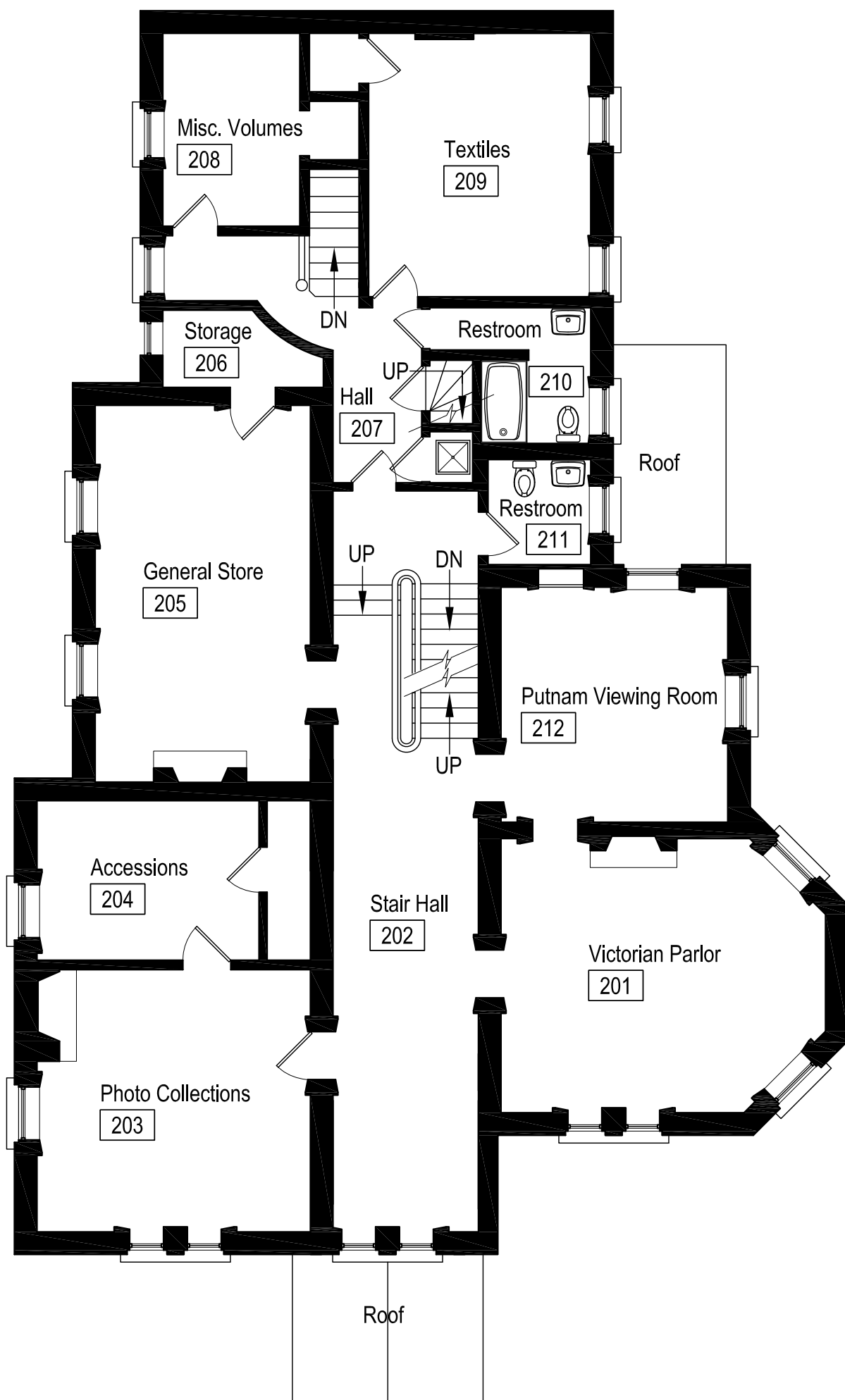
Site Plan



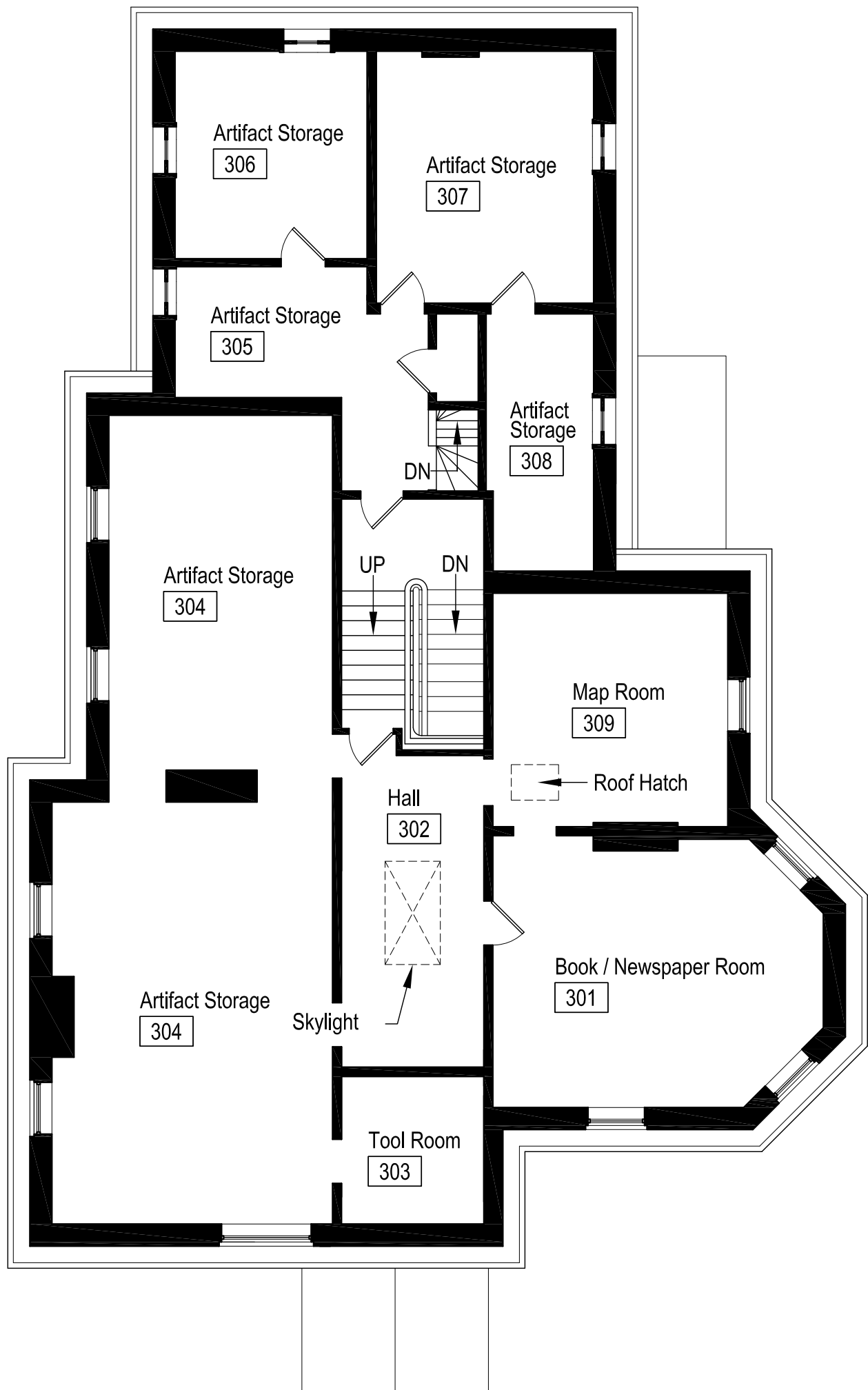
Basement Floor Plan



First Floor Plan



Second Floor Plan



Third Floor Plan



Commonwealth of Pennsylvania
Pennsylvania Historical and Museum Commission
Bureau for Historic Preservation
Commonwealth Keystone Building, 2nd Floor
400 North Street
Harrisburg, PA 17120-0093
www.phmc.state.pa.us

4 August 2003

Rhonda J. Hoover
Executive Director
Warren County Historical Society
210 4th Ave.
Warren, PA 16395

Dear Ms. Hoover:

Our office, the Bureau for Historic Preservation, is writing to all owners of historic properties for which our agency, the Pennsylvania Historical & Museum Commission, holds a covenant. This covenant relationship resulted either from a grant that was provided for the property's rehabilitation, restoration or acquisition or as a result of the property being transferred out of state or federal ownership.

In the case of **the Wetmore House**, the Declaration of Covenants resulted from an **Acquisition and Development Grant** that **Warren County Historical Society** received in **1979** from the **U. S. Department of the Interior** and extends for a period of **30 years**, expiring on **February 29, 2009**.

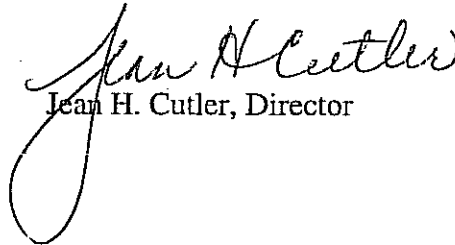
If you are unaware of the details of your covenant, we have enclosed a copy. Under the covenant, the property owner is responsible for maintaining, repairing and managing the property. In addition, prior to the initiation of any work, the covenant requires that you provide our office with written information that describes and illustrates the proposed work. Our responsibility is to advise you on using historically appropriate materials, following appropriate restoration techniques and broader historical design guidance.

Our office realizes that while many of our covenant property owners are well aware of historic preservation techniques, others may not be. Therefore, we have also enclosed information detailing rehabilitation and restoration treatments for historic buildings. In addition, if any recent changes regarding the property's ownership have occurred or if any threats which would undermine your property's architectural and historical character have come to light, we would ask that you please notify our office.

As the steward of a historically and architecturally significant property, the Commission appreciates the care you take to preserve the property's significant qualities to appreciate as much as we can. If you have any questions or if you are planning any

changes to your property or if you are in the process of transferring the property to a new owner, please contact Scott Doyle at (717) 783-6012.

Sincerely,



Jean H. Cutler, Director

Encl:

BHP Brochure

Preservation Briefs

Copy of covenant

Copy of NR form

Copy of Standards

Brown brochure

January 3, 1985

Warren County Commissioners
Warren County Courthouse
Warren, Pennsylvania 16365

Re: Wetmore
1979, 30 Year Covenant

To Whom it May Concern:

I am writing to all former Acquisition and Development Grant recipients as a reminder of your continuing obligations to preserve and maintain the above named property.

Under federal grant requirements the Pennsylvania Historical and Museum Commission is responsible for ensuring the continued maintenance and preservation of grant assisted properties. This is accomplished through the requirement that a covenant in favor of the Bureau for Historic Preservation, Pennsylvania Historical and Museum Commission be recorded with the assisted property's deed providing that the grantee agrees to assume the total cost of continued maintenance repair and administration of the premises so as to preserve the architectural and historical integrity of the features, materials, appearance, workmanship, and environment to be in effect for a specified period. Such a covenant is binding on the original grantee and any subsequent property owners during the covenant period. Prior to any significant alterations to the property the Bureau for Historic Preservation's written approval is to be secured. The terms of the covenant may be enforced by the Commission.

We are currently initiating a monitoring program attempting to visit and inspect as many of our former grant assisted properties as possible. In the meantime, please remember to contact our office if any changes to your property are planned. In addition, please let us know if the property is transferred to a new owner.

Sincerely,

Donna Williams
Acting Director
Bureau for Historic Preservation

WETMORE HOUSE DEVELOPMENT PROJECT
COMPLETION REPORT

A.,

1. Wetmore House
210 Fourth Avenue
Warren, Pennsylvania
2. 42-09335
3. Warren County Commissioners
Warren County Courthouse
Warren, Pennsylvania 16365

B.

- ✓ 1. Total Project Cost \$154,774.14; Federal Share \$20,000. ^{HCRS}
- ✓ 2. Enclosed
- ✓ 3. All Heritage Conservation & Recreation Service funds were expended.
- ✓ 4. No other Federal funds were known to be used on this project.
- ✓ 5. State Supervisor is Janet L. Bassett
+ with address

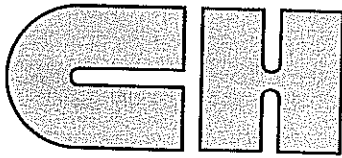
C.

Covenant is attached

D., The project work ^{is in accordance with} conforms with the Secretary of Interior's Standards for Historic Preservation Projects

E.,

1. Photographs attached
2. Photographs attached
3. Captions attached
4. No special conditions
5. This property will be the headquarters of the Warren County Historical Society
6. c., f. completion report

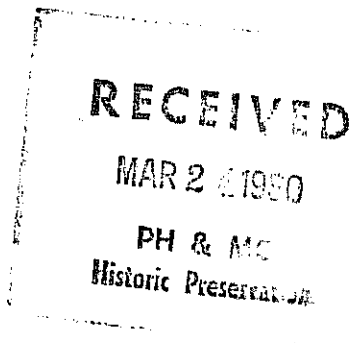


Creal & Hyde
Architects

203 West Third Avenue
Warren, Pennsylvania 16365
814-723-1322

WARREN COUNTY HISTORICAL SOCIETY OFFICES
REROOF/RESTORATION
C&H PROJECT #7710
March 21, 1980

1.	Replace (2) flat roof areas with new built up roofing 28 sq. @ \$297/sq.	8,325
2.	a. Repair and rebuild box gutters (275 lf @ \$46/lf)	12,725
	b. New leaders and downspouts 175 lf @ \$4.30/lf	750
	c. Subdrainage	450
3.	a. Repair deteriorated curved hip trim 155 lf @ \$22/lf	3,400
	b. Repair misc. fascia and soffit trim 100 lf @ \$21/lf	2,100
4.	Repoint and cap two chimneys	1,000
5.	a. Replace slate roofing on low portion of building (7½ sq. @ \$1,130/sq.)	8,250
	Subtotal	37,000
A & E		3,000
	Total	\$40,000



PHOTOGRAPHS - THE WETMORE HOUSE

1. View looking southwest, September 1977
2. North and west sides of building, September 1977
3. View looking southwest, December 1979, after completion of work
4. North and west sides of building, December 1979, after completion of work
5. View looking north on upper roof section showing repaired and recapped chimney and early stages of reroofing. At this stage, all original roofing material on flat sections had been removed, new tar paper was in place, and box gutters were partially completed.
6. Detailed view of upper roof section showing work in progress on repair and replacement of box gutters.
7. Detailed view showing a portion of a restored chimney, nearly complete stainless steel work on upper flat section, and work in progress on third story dormer windows.
8. Detailed view of work in progress on third floor bull's-eye window and surrounding area before reslating
9. Detailed view showing work in progress at a point where an entirely new slate section (right) meets a section of slate on the front portion of the roof.

10. View from rear flat section of roof looking south and showing to the left of center a large section where extensive repairs and slate replacement were made.
11. The same view as No. 10 at slightly closer range, but also showing a workman handling a section of stainless steel being prepared for placement in a box gutter
12. View of the southwest and front corner of the building showing a repaired and recapped chimney, and work in progress on reroofing of dormer windows and repair and replacement of damaged sections of slate roofing.

COMPLETION REPORT

The Wetmore House
210 Fourth Avenue
Warren, Pa.

Federal project #770302161

The purpose of this development project was to partially reroof the Wetmore house. Funds available, including a large private gift, allowed for much of the work, leaving only the original slate sections on the front portion of the house to be replaced in the future. A serious need for repair was caused both by a faulty gutter system and extensive areas of damaged slate and flashing.

Major items of work involved in the project were the slate roofing of the house's entire rear section; metal roofing (stainless steel) of all flat sections of the roof; replacement with stainless steel of the entire box gutter system; stabilization or replacement of flashing; repair or replacement, where needed, of wood and brackets at the eaves and at hip intersections; and pointing or partial replacement of all chimneys.

Notable special methods and materials used in the project were the cutting and trimming of slates in special colors and shapes to match patterns in the original roof design, and the hand bending of sections of the flat seamed roof with a roofer's antique seaming tool. This latter method was also employed to match the original roofing technique.

COMPLETION REPORT

The Wetmore House
210 Fourth Avenue
Warren, Pa.

Federal project #770302161

Work was conducted chronologically in the following manner: first, materials were removed and stored; second, all chimneys were repointed or partially rebuilt; third, rotted framing and sheathing was replaced in wooden portions of the roof; fourth, flat seamed roof sections were reroofed with stainless steel; fifth, the roof sections included in the scope of the grant were reslated with flower patterns included, concurrent with the restoration of window trim in curved shapes to match the existing configurations of the trim; sixth, the box gutters were relined and the storm water collection system renewed; and seventh, cornice trim was re-installed and all roof woodwork was repainted.

The owners, the occupants of the building, and the project architects concur in their estimation that work on the project was carried through in excellent fashion. The craftsmanship of work faithfully followed all original details, and the rear portion of the building is now watertight and restored to original condition, as is the flat roof section on the front wing.

The project architect has suggested -- and this is particularly important in view of a change order cost necessitated by hidden work -- that funding, whether private or otherwise, should allow for such contingencies. This

COMPLETION REPORT

The Wetmore House
210 Fourth Avenue
Warren, Pa.

Federal project #770302161

suggestion is related directly to discovery of several sections of rotted sub-framing which had to be replaced before final repairs and replacement of roofing material could be made. Apart from this problem, there were no other findings which were unusual to this period of architecture.

Final total costs for the project are as follows: Laco Contractors, Inc., \$74,188.20, and Creal & Hyde, Architects, \$6,397.74. Costs for categories of work by the contractor are: slate, \$4,100.00; stainless steel, \$21,940.00; labor, \$26,356.00; painting, \$9,790.00; brick work, \$7,700.00; and drainage, \$1,200.00. The additional \$3,102.20 reflected in the total Laco Contractors' bill is the amount of a change order for which attached statements show the cost breakdown.

The Wetmore house will remain in county ownership and will continue to be occupied exclusively by the historical society and used for administrative offices, library, archives, research facilities, and storage and work space. Several rooms will also continue to be used as exhibit areas.

COMPLETION REPORT

The Wetmore House
210 Fourth Avenue
Warren, Pa.

Federal project #770302161

Work remaining to be done on the building includes the following: reslating of the front portion of the roof; repointing of brick exterior walls; repairing and repainting of wood trim below the roof (windows and porches); and the repair and repainting of interior plaster and trim work.

The Commissioners of Warren County, as owners of the building, will continue to assume the major financial responsibility for maintenance of the building, both inside and out. Occasional minor or special maintenance problems will undoubtedly be paid for by the Warren County Historical Society. Major maintenance projects are handled by private vendors or workers employed by the county. Occasional interior repair and restoration work is done by historical society volunteers, who are also qualified professionals.

There are no attachments to this report in the form of test results or reports by consultants which are relevant to the project.

January 30, 1980

DECLARATION OF COVENANTS

The parties to these covenants are the COMMONWEALTH OF PENNSYLVANIA, by and through the PENNSYLVANIA HISTORICAL AND MUSEUM COMMISSION hereinafter referred to as the Commission, and the COMMISSIONERS OF WARREN COUNTY, HEREINAFTER REFERRED TO AS THE Grantee.

The Grantee agrees that for good and valuable consideration exchanged between the Commission and the Grantee, it is hereby declared that this instrument, entitled "Declaration of Covenants," shall be binding as between the parties and their respective successors and assigns, and shall be recorded in connection with a certain deed dated December 5, 1950 from Marion Frances Schimmelfeng, Grantor, to the Grantee, recorded with the Warren County Registry of Deeds at Book 241, Page 550.

The provisions of these covenants, hereinafter expressed as covenants running with the land, are herein set forth so as to ensure the preservation of the architectural and historical integrity of THE WETMORE HOUSE which premises have been listed on the National Register of Historic Places under the provision of the National Historic Preservation Act of 1966 (80 Stat. 915). Architectural and historical integrity shall be defined as those significant characteristics which qualified the building for entry on the National Register of Historic Places.

Prior to the commencement of work, the grantee agrees to notify, in writing, the Pennsylvania Historical and Museum Commission of all work on said property which might affect the historical/architectural character or integrity of the structure. The Commission will be given ample time (30 days) to comment on the appropriateness of such work.

The Grantee, his or its successors and assigns, covenants and agrees to assume the total cost of continued maintenance, repair, and administration of the premises so as to preserve the architectural and historical integrity of the features, materials, appearance, workmanship, and environment for a period of 30 years from January 27, 1980, the date of execution of this instrument in a satisfactory manner. The administration of the property shall be for a demonstrable public benefit for the same number of years.

The grounds around said property will be maintained in the landscaped environment consistent with the historical and architectural character of the property.

The Grantee agrees that the Commission may inspect the premises from time to time during the length of the covenants to ensure that the Grantee is in compliance with reasonable standards of maintenance and administration.

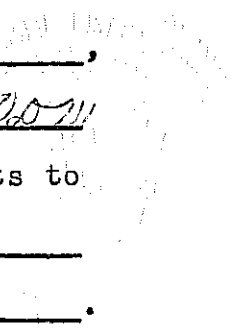
The Grantee agrees that as a remedy for any failure to comply with such terms, specific performance of same may be enforced by the Commission.

It is further agreed that the Commission in no way assumes any obligation for maintaining, repairing, or administering said property and that the Grantee will hold the Commission harmless in this regard.

IN WITNESS WHEREOF, the Grantee has hereunto set his or its hand and seal the 24th, day of January, 1980.

By *D. L. Rice*

Commonwealth of Pennsylvania County of Warren,
Then personally appeared the above named D. L. Rice D.O. #11
and acknowledged the foregoing Declaration of Covenants to be the free act and deed of his
before me, (Notary Public) Norma Mills.
My commission expires First Monday of January 1982



NOTARY PUBLIC
NORMA MILLS
WARREN COUNTY, PENNSYLVANIA

1980 JAN 24 AM 10:55

1881170

NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY - NOMINATION FORM

(Type all entries - complete applicable sections)

STATE: Pennsylvania
COUNTY: Warren
FOR NPS USE ONLY
ENTRY DATE

1. NAME

COMMON:
Wetmore House

AND/OR HISTORIC:
Warren County Courthouse Annex; Warren County Historical Society

2. LOCATION

STREET AND NUMBER:
210 Fourth Avenue

CITY OR TOWN:
Warren

CONGRESSIONAL DISTRICT:
23rd

STATE: Pennsylvania CODE: 42 COUNTY: Warren CODE: 123

3. CLASSIFICATION

CATEGORY (Check One)	OWNERSHIP	STATUS	ACCESSIBLE TO THE PUBLIC
<input type="checkbox"/> District <input type="checkbox"/> Site <input type="checkbox"/> Object <input checked="" type="checkbox"/> Building <input type="checkbox"/> Structure <input type="checkbox"/> Object	<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private <input type="checkbox"/> Both	<input checked="" type="checkbox"/> Occupied <input type="checkbox"/> Unoccupied <input type="checkbox"/> Preservation work in progress <input type="checkbox"/> In Process <input type="checkbox"/> Being Considered	Yes: <input checked="" type="checkbox"/> Restricted <input type="checkbox"/> Unrestricted <input type="checkbox"/> No

PRESENT USE (Check One or More as Appropriate)

<input type="checkbox"/> Agricultural	<input type="checkbox"/> Government	<input type="checkbox"/> Park	<input type="checkbox"/> Transportation	<input type="checkbox"/> Comments
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Private Residence	<input type="checkbox"/> Other (Specify)	
<input checked="" type="checkbox"/> Educational	<input type="checkbox"/> Military	<input type="checkbox"/> Religious		
<input type="checkbox"/> Entertainment	<input checked="" type="checkbox"/> Museum	<input type="checkbox"/> Scientific		

4. OWNER OF PROPERTY

OWNER'S NAME:
Warren County

STREET AND NUMBER:
Warren County Courthouse; Market St. & Fourth Ave.

CITY OR TOWN:
Warren

STATE:
Pennsylvania

CODE:
42

5. LOCATION OF LEGAL DESCRIPTION

COURTHOUSE, REGISTRY OF DEEDS, ETC:
Warren County Courthouse

STREET AND NUMBER:
Market Street and Fourth Avenue

CITY OR TOWN:
Warren

STATE:
Pennsylvania

CODE:
42

6. REPRESENTATION IN EXISTING SURVEYS

TITLE OF SURVEY:
Historic Buildings in Warren
Pennsylvania Inventory of Historic Places

DATE OF SURVEY:
 Federal State County Local Co.

DEPOSITORY FOR SURVEY RECORDS:
PA Historical & Museum Commission; Warren County Historical Society

STREET AND NUMBER:
Wm. Penn Memorial Museum; 210 Fourth Avenue

CITY OR TOWN:
Harrisburg; Warren

STATE:
Pennsylvania

CODE:
42

SEE INSTRUCTIONS

STATE: Penna.
COUNTY: Warren
ENTRY NUMBER:
DATE:
FOR NPS USE ONLY

7. DESCRIPTION

CONDITION	(Check One)					
	<input type="checkbox"/> Excellent	<input checked="" type="checkbox"/> Good	<input type="checkbox"/> Fair	<input type="checkbox"/> Deteriorated	<input type="checkbox"/> Ruins	<input type="checkbox"/> Unexposed
	(Check One)			(Check One)		
	<input checked="" type="checkbox"/> Altered	<input type="checkbox"/> Unaltered		<input type="checkbox"/> Moved	<input checked="" type="checkbox"/> Original Site	

DESCRIBE THE PRESENT AND ORIGINAL (if known) PHYSICAL APPEARANCE

The Wetmore House, 1870-1873, is a red brick mansion, two stories high with a mansard roof, constructed in the Italian Renaissance style. The outer walls feature double layers of brick separated by an air space as do the interior supporting walls which are carried down into the basement. The structure rests on a dressed stone water table.

The front facade features double windows on both the first and second floors. The first floor windows are semi-circular in shape with semi-circular Gothic dripstone; the second story features flat-shaped double windows with semi-elliptical Gothic dripstone and bracketed sills. The main facade is three bays wide with a recessed east bay. The recessed bay once contained a large verandah with balustrade which was torn down around 1950. The main facade still contains a small, one-story, open portico with three-quarter columns and pilasters. A three-sided bay section comprises the eastern portion of the main axis and features single rather than double windows. The first floor windows here contain bracketed sills. The structure also contains a large rear wing.

The mansard roof features boxed cornice with plain frieze and brackets. Decorated paired brackets are located at the various corners and extend below the frieze. Decorated bellcast-style dormers are located at various intervals along the roof.

The original interior survived until around 1950 when it was also altered. Elaborate fixtures, originally for gas, and chandeliers were removed as the structure was converted from a house into office space. Archways were closed, hardwood floors were covered, and the walnut woodwork was often painted. Upon acquisition of the house by the Warren County Historical Society in 1964, this trend was halted and the house has, in part, been restored to its original appearance.

Presently several rooms retain their original fittings, including a splendid, garland decorated mantle located in a first floor parlor. Also on the first floor is a fine Victorian plaster ceiling piece and an elaborate marble Victorian fireplace mantle.

SEE INSTRUCTIONS

8. SIGNIFICANCE

PERIOD (Check One or More as Appropriate)

- | | | | |
|--|---------------------------------------|--|---------------------------------------|
| <input type="checkbox"/> Pre-Columbian | <input type="checkbox"/> 16th Century | <input type="checkbox"/> 18th Century | <input type="checkbox"/> 20th Century |
| <input type="checkbox"/> 15th Century | <input type="checkbox"/> 17th Century | <input checked="" type="checkbox"/> 19th Century | |

SPECIFIC DATE(S) (If Applicable and Known) 1870-1873

AREAS OF SIGNIFICANCE (Check One or More as Appropriate)

- | | | | |
|--|---|--|--|
| <input type="checkbox"/> Aboriginal | <input type="checkbox"/> Education | <input type="checkbox"/> Political | <input type="checkbox"/> Urban Planning |
| <input type="checkbox"/> Prehistoric | <input type="checkbox"/> Engineering | <input type="checkbox"/> Religion/Philosophy | <input type="checkbox"/> Other (Specify) |
| <input type="checkbox"/> Historic | <input type="checkbox"/> Industry | <input type="checkbox"/> Science | _____ |
| <input type="checkbox"/> Agriculture | <input type="checkbox"/> Invention | <input type="checkbox"/> Sculpture | _____ |
| <input checked="" type="checkbox"/> Architecture | <input type="checkbox"/> Landscape Architecture | <input type="checkbox"/> Social/Humanitarian | _____ |
| <input type="checkbox"/> Art | <input type="checkbox"/> Literature | <input type="checkbox"/> Theater | _____ |
| <input type="checkbox"/> Commerce | <input type="checkbox"/> Military | <input type="checkbox"/> Transportation | _____ |
| <input type="checkbox"/> Communications | <input type="checkbox"/> Music | | _____ |
| <input type="checkbox"/> Conservation | | | _____ |

STATEMENT OF SIGNIFICANCE

The present home of the Warren County Historical Society was built by Thomas Struthers as a wedding present for his only daughter, Anna Wetmore, during the years 1870-1873. Struthers was one of the prominent citizens of Warren during the 19th century, a developer, industrialist, and state legislator. He is particularly noted for construction of the Struthers Library Building, a major cultural landmark of the area.

In 1893, the building was sold to Charles Schimmelfeng and remained in his family until 1950 when it was sold to the county commissioners for use as a courthouse annex. In 1964, the building was acquired by the Warren County Historical Society which has attempted to restore it to its early appearance.

The architectural integrity of the structure, particularly of the exterior, has, for the most part, remained intact, and the house serves as one of the fine examples of Victorian architecture in northwestern Pennsylvania. The architectural significance, and the relationship to one of the most prominent citizens of early Warren, make the Wetmore House one of the more important structures in the area.

SEE INSTRUCTIONS

9. MAJOR BIBLIOGRAPHICAL REFERENCES

Beckley, Jennifer, and Chase Putnam, "Stepping Stones,"
Warren County Historical Society, Volume 17, No. 3, 1973.

Historic Buildings in Warren County, Volume 3, Warren County
Historical Society, 1974.

10. GEOGRAPHICAL DATA

LATITUDE AND LONGITUDE COORDINATES DEFINING A RECTANGLE LOCATING THE PROPERTY			O R	LATITUDE AND LONGITUDE COORDINATES DEFINING THE CENTER POINT OF A PROPERTY OF LESS THAN TEN ACRES		
CORNER	LATITUDE			LATITUDE		LONGITUDE
	Degrees	Minutes	Seconds	Degrees	Minutes	Seconds
NW	°	'	"	41°	50'	53"
NE	°	'	"	79°	08'	52"
SE	°	'	"			
SW	°	'	"			

APPROXIMATE ACREAGE OF NOMINATED PROPERTY: 1/4 acre

LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

STATE:	CODE	COUNTY	CODE

11. FORM PREPARED BY

NAME AND TITLE:
Chase Putnam, Curator, & Quinn Smith/David M. Berman, Curator

ORGANIZATION: Pa. Historical and
Warren Co. Historical Society/Museum Commission

DATE: 1974

STREET AND NUMBER: 210 Fourth Avenue (P.O. Box 427) / Wm. Penn Memorial Museum (1026) Box

CITY OR TOWN: Warren/Harrisburg

STATE: Pennsylvania

CODE: 42

12. STATE LIAISON OFFICER CERTIFICATION

As the designated State Liaison Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service. The recommended level of significance of this nomination is:

National State Local

Name: WILLIAM J. WEWER

Title: Executive Director
PA Historical & Museum Commission

Date: _____

NATIONAL REGISTER VERIFICATION

I hereby certify that this property is included in the National Register.

Director, Office of Archeology and Historic Preservation

Date: _____

ATTEST: _____

Keeper of The National Register

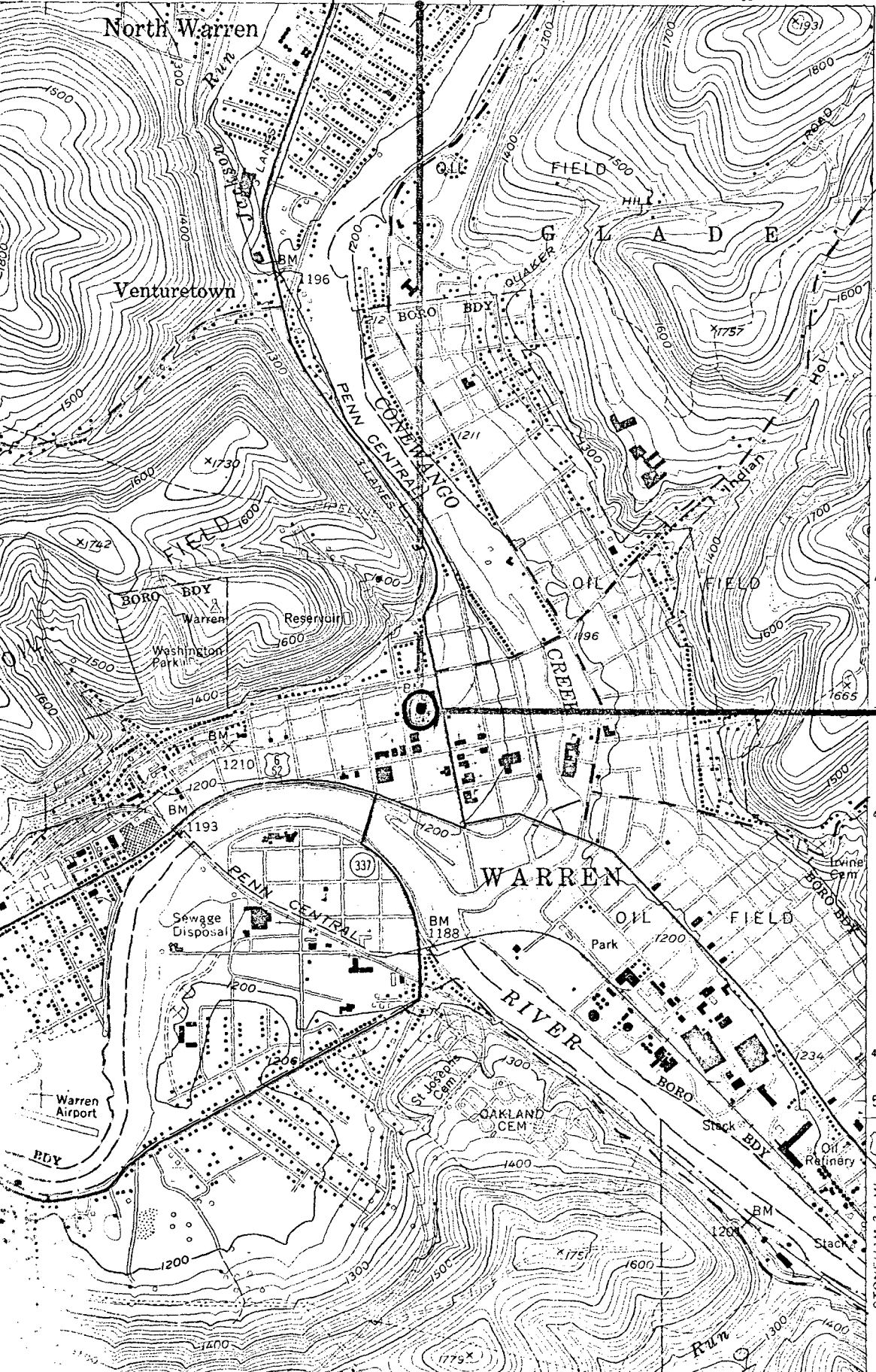
Date: _____

SEE INSTRUCTIONS

WARREN QUADRANGLE
 PENNSYLVANIA—WARREN CO.
 7.5 MINUTE SERIES (TOPOGRAPHIC)

5167 INE
 (SCANDIA)

65210' WARREN STATE HOSPITAL 0.3 MI. 162 1 620 000 FEET 655 79°07'30" 41°52'30"



STRUTHERS -
 WETMORE -
 SCHIMMELFEN
 HOUSE ;

WARREN
 COUNTY
 COURTHOUSE
 ANNEX ;

Warren
 County
 Historical
 Society



STONEHAM 3.1 MI.
 SHEFFIELD 11 MI.